

**ADDENDUM 2  
TO THE CONTRACT PROVISIONS AND CONTRACT PLANS**

**FOR**

**NORTHSHORE UTILITY DISTRICT  
BUILDING "A" IMPROVEMENTS**

**G&O #18601**



**ISSUED THIS DATE: THURSDAY, MARCH 23, 2023**

**BID SUBMITTAL: 3:00 P.M. (LOCAL TIME) ON  
TUESDAY, MARCH 28, 2023  
NORTHSHORE UTILITY DISTRICT  
6830 NE 185<sup>th</sup> STREET  
KENMORE, WASHINGTON 98028**

**Bidder shall acknowledge receipt of this Addendum on Page Prop-2 of the Proposal.**

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TO PROSPECTIVE BIDDERS:

The attention of all prospective bidders on the above project is directed to the following additions and modifications to the Contract Provisions and Contract Plans.

**I. ADDITIONS, MODIFICATIONS, AND/OR DELETIONS TO THE  
ENGINEERING SPECIFICATIONS**

**ITEM 1:**

Page 01520-2, Specification Section 01520-2.2, OWNER'S TEMPORARY  
STAFF FIELD OFFICES

**REVISE** the numbered list as follows (added text is italicized, deleted text is shown as strike out):

- “6. The District will provide their ~~own furnishings and~~ communications connections.
7. *The Contractor shall provide and install desks and filing cabinets for the seven offices within the temporary trailers. Each office shall get two desks, each with one mobile file pedestal. Desks shall be 30" x 60", or equivalent.*
8. *The District will provide and install the remainder of the furnishings for the trailer offices and the central open meeting/work area.”*

Page 01520-2, Specification Section 01520-2.2, OWNER'S TEMPORARY INTERIOR WORK SPACES

**REVISE** the fourth paragraph (revised in Addendum 1) as shown below (added text is italicized, deleted text is shown as strike out):

~~“The District will utilize existing furnishings, move, and install existing furnishings, including chairs, computers, monitors, free-standing bookcases, and loose office items, from the building for the temporary work spaces and will provide for the necessary communications associated with the temporary offices and works spaces.”~~

**ADD** the following to the end of the section:

“The Contractor shall move twelve (12) existing desks from within the building to the temporary work spaces. The existing desks typically are comprised of the following:

- 9 each – U-shaped desk approximately 8- to 9-feet wide and 6-feet deep.
- 3 each – L-shaped desk approximately 6- to 7-feet wide and 6- to 7-feet deep.
- Each of these 12 desks include a pair of attached file cabinet pedestals below and an attached bookcase approximately 6-feet wide and 3-feet high above.
- Contractor shall assume disassembly and reassembly of the desks units will be required.

The Contractor shall also provide and install six additional desk areas for the temporary work spaces. At a minimum, these shall each include two 30" x 60" desks, each with one mobile file pedestal similar to the furnishings provided above with the temporary trailers. Alternatively, it is possible that these six work areas could be reconstructed from existing cubicle desk areas, at the Contractor's option.

At the phase of the Project where District staff can move back into permanent offices, the District will remove furnishings, including chairs, computers, monitors, free-standing bookcases, loose office items, etc. from within the temporary work spaces. The Contractor shall then demolish and wastehaul the remaining furniture and temporary work space construction.”

**ITEM 2:**

Page 10500-1, Specification Section 10500-2.1, APPROVED WET GEAR LOCKERS

**REVISE** the paragraph as follows (added text is italicized, deleted text is shown as strike out):

~~“Wall Mount Lockers by GearGrid, LLC “Flexo” Series fire service style wet gear lockers by C+P Germany (thru Club Resource Group, Tracy, California), or equal.”~~

Page 10500-1, Specification Section 10500-2.2, LOCKERS

**REVISE** the paragraph as follows (added text is italicized, deleted text is shown as strike out):

*“Lockers shall be 20-inches wide by 74-inches tall by 20-inches deep open front, single compartment lockers with one open shelf at the top and ~~rubber boot mat~~ at bottom. Frame shall be heavy-duty steel tubing. Side and back panels shall be 3" x 3" wire grid constructed of 1/4" steel wire. Main compartment shall have clothes rod and side mounted *apparel hooks* ~~hook rail~~.*

~~Lockers shall include Manufacturer’s moisture proof fabrication option and Locker sub-frames shall be prepped for on-site built-up base.”~~

Page 10500-1, Specification Section 10500-2.3, FINISH

**REVISE** the paragraph as follows (added text is italicized, deleted text is shown as strike out):

*“Powder coat ~~Baked enamel~~ finish. Color to be selected from the manufacturer’s full line of standard colors.”*

**ITEM 3:**

Page 10800-2, Specification Section 10800-2.2, FIXTURE SCHEDULE

**REVISE** the Fixture Schedule as shown below (added text is italicized, deleted text is shown as strike out):

<b><u>Fixture</u></b>	<b><u>Type and Location</u></b>
<del>Toilet Tissue Dispenser</del>	<i>Bobrick B-2840, Surface-mounted, install at each watercloset</i>
Toilet Seat Cover Dispenser	<i>Bobrick B-221, Surface-mounted, install at each watercloset</i>
Grab Bars	<i>Bobrick B-6897, two-wall wheelchair toilet compartment, install at each watercloset</i>
Shower Ct. Rod	<i>Bobrick B-6047</i>
Shower Curtain	<i>Bobrick B-204-2</i>
Shower Ct. Hooks	<i>Bobrick B-201-1, Provide complete set for each curtain</i>
Sanitary Receptacle	<i>Bobrick B-353, install at each Single Occupancy Restroom and Women’s waterclosets</i>
Hand Towel Dispenser/ Receptacle	<i>Bobrick B-369, flush-mounted, install at each Single Occupancy Restroom</i>

Soap Dispenser	Toto TES100, <i>deck-mounted, install at each Single Occupancy Restroom lavatory</i>
Soap Dispenser	Bobrick B-2012, <i>wall-mounted, install at each new trough sink</i>
Mirror	Bobrick B-165, <i>install at each Single Occupancy Restroom lavatory</i>
<del>Hook Strip</del> Hooks	<del>Bobrick B-232</del> Bobrick B-682, <i>provide 4 each at Men's and Women's Showers</i>
<del>Paper Towel Dispenser/ Waste Receptacle</del>	<del>Bobrick B-3944</del>
Tampon Dispenser	Bobrick B-2706C
Diaper Changing Station	Koala Kare KB300
First Aid Kit	FASO 68-13041, <i>wall-mounted small Class A kit, install at each Single Occupancy Restroom</i>

**ITEM 4:**

Page 09900-8, Specification Section 09900-2.2, PAINT SYSTEMS

**ADD** the following to the end of the section:

“E. SEALER AT HEAT TREATED STEEL

1. Scope

This Section shall apply to the heat treated steel in the Lobby.

2. Surface Preparation

Surfaces shall be free of contaminants, dry, and solvent cleaned per SSPC SP-1.

3. Coatings

Finish System:

Coat One

Product: Matte Clear Coat, POR 15

MDFT: N/A, Full Wet Coat

Coat Two

Product: Matte Clear Coat, POR 15

MDFT: N/A, 60% Overlap Full Wet Coat”

**ITEM 5:**

Page 12356-3, Specification Section 12356-2.1 A. 1., casework

**ADD** the following to the end of this Section:

- “g. Cabinet Tech, LLC
- h. Custom Source Woodworking”

**ITEM 6:**

Page 16140-1, Specification Section 16140-2.2 C. 2., Special Purpose Receptacles

**REVISE** this section as shown below (added text is italicized, deleted text is shown as strike out):

- “2. ~~Special Purpose~~ *Controlled* Receptacles
  - a. ~~Wireless control~~ *Receptacles controlled as part of the Energy Management or Building Automation Systems shall be marked in compliance with NEC 406.3(E) in lieu of “Wireless control.”*
  - b. Bottom receptacle controlled; top receptacle continually powered.
  - c. NEMA 5-20R.”

**ITEM 7:**

Page 16740-2, Specification Section 16740-2.3 A., Communications Horizontal Cabling

**ADD** the paragraph as follows:

- “2. Stations to be used for wall-mount telephones: Brushed stainless steel with stainless steel mounting lugs suitable for supporting wall-mount telephones:
  - a. Allen Tel: AT630A-4, or approved equal.”

**II. ADDITIONS, MODIFICATIONS, AND/OR DELETIONS TO THE CONTRACT PLANS**

**ITEM 1:**

SHEET C-10, DETAILS 2

**DELETE** Sheet C-10 in its entirety and **REPLACE** with the attached revised Sheet C-10.

**ITEM 2:**

**SHEET A-1.2, ARCHITECTURAL BUILDING DETAILS 1**

**DELETE** Sheet A-1.2 in its entirety and **REPLACE** with the attached revised Sheet A-1.2.

**ITEM 3:**

**SHEET A-2, EXISTING FLOOR PLAN AND TEMPORARY WORK SPACE**

**DELETE** Sheet A-2 in its entirety and **REPLACE** with the attached revised Sheet A-2.

**ITEM 4:**

**SHEET A-3, GENERAL DEMOLITION FLOOR PLAN**

**DELETE** Sheet A-3 in its entirety and **REPLACE** with the attached revised Sheet A-3.

**ITEM 5:**

**SHEET A-3.1, FLOORING FINISHES DEMOLITION PLAN**

**DELETE** Sheet A-3.1 in its entirety and **REPLACE** with the attached revised Sheet A-3.1.

**ITEM 6:**

**SHEET A-3.2, REFLECTED CEILING DEMOLITION PLAN**

On the Reflected Ceiling Demo Plan, **ADD** the following note adjacent to Flag Note #2 at Office 24:

“OFFICE 24 INCLUDES A FRAMED-OUT GYPSUM SOFFIT ABOVE THE LINE OF CABINETS BELOW THAT SHALL BE DEMOLISHED TO INCREASE THE CEILING EXTENTS TO THE EAST WALL AS SHOWN ON THE REFLECTED CEILING PLAN”

**ITEM 7:**

**SHEET A-3.3, DEMOLITION ROOF PLAN**

**DELETE** Sheet A-3.3 in its entirety and **REPLACE** with the attached revised Sheet A-3.3.

**ITEM 8:**

**SHEET A-4, PROPOSED FLOOR PLAN**

**DELETE** Sheet A-4 in its entirety and **REPLACE** with the attached revised Sheet A-4.

**ITEM 9:**

**SHEET A-5, PROPOSED FLOORING PLAN**

On the Flooring Finish Plan, **ADD** the following notes:

- “2. AT AREAS WHERE THE LEGACY GROUP IS PROVIDING AND INSTALLING FLOORING, THE LEGACY GROUP WILL ALSO BE RESPONSIBLE FOR PROVIDING AND INSTALLING WALL BASE (RUBBER BASE AND/OR TILE BASE AS OCCURS).
  
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND INSTALLING RUBBER BASE AT ALL OTHER AREAS THAT ARE NOT TO BE CARPETED OR TILED.”

**ITEM 10:**

**SHEET A-7, PROPOSED REFLECTED CEILING PLAN**

**DELETE** Sheet A-7 in its entirety and **REPLACE** with the attached revised Sheet A-7.

**ITEM 11:**

**SHEET A-8.1, ROOFING DETAILS 1**

**ADD** the attached Inventory Room Laminated Ceiling Panel Detail to this Sheet.

**ITEM 12:**

**SHEET A-8.2, ROOFING DETAILS 2**

**ADD** the following note to this sheet:

**“NOTE:**

1. WALL PANELING PATCHING, REPAIRS, AND REPLACEMENT AT EXISTING PARAPET WALLS SHALL BE EXTERIOR INSULATION FINISH SYSTEM (EIFS).”

**ITEM 13:**

**SHEET A-9, ENLARGED FLOOR PLAN - SOUTHEAST**

**DELETE** Sheet A-9 in its entirety and **REPLACE** with the attached revised Sheet A-9.

**ITEM 14:**

**SHEET A-11, ENLARGED FLOOR PLAN - NORTHWEST**

**DELETE** Sheet A-11 in its entirety and **REPLACE** with the attached revised Sheet A-11.

**ITEM 15:**

**SHEET A-13, ENLARGED FLOOR PLAN - LOBBY**

**DELETE** Sheet A-13 in its entirety and **REPLACE** with the attached revised Sheet A-13.

**ITEM 16:**

**SHEET A-20, INTERIOR ELEVATIONS 7**

**DELETE** Sheet A-20 in its entirety and **REPLACE** with the attached revised Sheet A-20.

**ITEM 17:**

**SHEET A-21, INTERIOR ELEVATIONS 8**

**DELETE** Sheet A-21 in its entirety and **REPLACE** with the attached revised Sheet A-21.

**ITEM 18:**

**SHEET A-23, INTERIOR ELEVATIONS 10**

**DELETE** Sheet A-23 in its entirety and **REPLACE** with the attached revised Sheet A-23.

**ITEM 19:**

**SHEET A-24, ARCHITECTURAL CASEWORK DETAILS**

**DELETE** Sheet A-24 in its entirety and **REPLACE** with the attached revised Sheet A-24.

**ITEM 20:**

**SHEET S-5, BUILDING DETAILS**

**REPLACE** the Detail 1 – Typical Seismic Pipe Support with the attached revised Detail 1 – Typical Seismic Pipe Support.



**ITEM 21:**

**SHEET E-1.0 ELECTRICAL SITE PLAN**

**DELETE** Sheet E-1.0 in its entirety and **REPLACE** with the attached revised Sheet E-1.0.

**ITEM 22:**

**SHEET E-1.11 BUILDING A – WEST ELECTRICAL POWER PLAN**

**DELETE** Note 2 and **REPLACE** with the following:

- “2. THE TOP OF “04 GDB 01” AND “04 MTS 01” SHALL BE MOUNTED NO MORE THAN 6'-6" ABOVE GRADE. MOUNT RECEPTACLE “04 GREC 01” AS HIGH ABOVE GRADE AS POSSIBLE TO FACILITATE CONNECTION.”

**ITEM 23:**

**SHEET E-1.13 BUILDING A – CENTRAL LIGHTING PLAN**

**ADD** general note C as follows:

- “C. UTILIZE THE EXISTING ROOM LIGHTING BRANCH CIRCUITS FOR NEW LIGHT FIXTURES. EXISTING LIGHTING BRANCH CIRCUITS, WHERE IDENTIFIED, ARE BASED ON AVAILABLE RECORD DRAWING AND HAVE NOT BEEN FIELD VERIFIED. THE CONTRACTOR SHALL FIELD VERIFY LIGHTING BRANCH CIRCUITS IN ALL AREAS WITH LIGHTING REVISIONS IN THE PROJECT. THE CONTRACTOR SHALL NOTIFY THE OWNER/ENGINEER WHERE EXISTING CIRCUITS ARE INCOMPATIBLE WITH THE DESIGN INTENT DEPICTED ON THIS SHEET AND SHEET E-6.5 PRIOR TO BEGINNING INSTALLATION.”

**ITEM 24:**

**SHEET E-1.14 BUILDING A – EAST LIGHTING PLAN**

**DELETE** Sheet E-1.14 in its entirety and **REPLACE** with the attached revised Sheet E-1.14.

**ITEM 25:**

**SHEET E-1.21 BUILDING B ENLARGED ELECTRICAL PLAN**

**DELETE** general note A and **REPLACE** with:

- “A. THIS REVISED BUILDING PLAN WAS DEVELOPED FROM GRAY & OSBORNE'S NORTHSORE UTILITY DISTRICT

HEADQUARTERS DEVELOPMENT PROJECT CIRCA 2012.  
CONTRACTOR SHALL FIELD VERIFY EXISTING  
CONDITIONS PRIOR TO WORK ON THIS PROJECT.”

**DELETE** general note C and **REPLACE** with:

“C. SEE REVISED ONE LINE DIAGRAM AND  
CONDUCTOR/CONDUIT SCHEDULE ON SHEETS E-6.0 AND  
E-0.1 RESPECTIVELY FOR MODIFICATION DETAILS AND  
EQUIPMENT ELECTRICAL INTERCONNECTIONS.”

**DELETE** Note 2 in its entirety.

**REVISE** equipment callout in lower right-hand corner of the sheet to read  
“05 GDB 01 (E)” in lieu of “05 GDS 01 (E)”

**ITEM 26:**

**SHEET E-1.31 BUILDING C – FUELING STATION GENERATOR  
RECEPTACLE**

**DELETE** Sheet E-1.31 in its entirety and **REPLACE** with the attached revised  
Sheet E-1.31.

**ITEM 27:**

**SHEET E-5.0 ELECTRICAL DETAILS**

**DELETE** Sheet E-5.0 in its entirety and **REPLACE** with the attached revised  
Sheet E-5.0.

**ITEM 28:**

**SHEET E-6.0 REVISED ONELINE DIAGRAM**

**DELETE** Sheet E-6.0 in its entirety and **REPLACE** with the attached revised  
Sheet E-6.0.

**ITEM 29:**

**SHEET E-6.5 LIGHTING SCHEDULES AND CONTROL WIRING**

**DELETE** Sheet E-6.5 in its entirety and **REPLACE** with the attached revised  
Sheet E-6.5.

**ITEM 30:**

**SHEET E-6.6 REVISED MAIN GROUNDING NETWORK**

**REVISE** equipment callout near the center of the sheet to read “05 SB 01 (E)” in  
lieu of “02 SB 01 (E)”

**REVISE** equipment callout on the right of the sheet to read “05 MTS 01 (E)” in lieu of “02 MTS 01 (E)”

**ITEM 31:**

**SHEET ED-1.21 BUILDING B – WEST ELECTRICAL DEMOLITION PLAN**

**DELETE** sheet note 2, 3 and 4 and **REPLACE** with the following:

- “2. DEMOLISH EXISTING CONDUIT AND CONDUCTORS BETWEEN “05 ATS 01” AND “05 XB 01.”
3. DEMOLISH CONDUCTORS, PRESERVE PATHWAY FOR REUSE.
4. DEMOLISH CONDUCTORS, PRESERVE PATHWAY FOR REUSE. SEE SHEET E1.1 FOR REVISIONS TO UNDERGROUND CONDUITS BETWEEN “BUILDING A” AND “BUILDING B.””

**REVISE** equipment callout in lower right-hand corner of the sheet to read “05 GDB 01 (E)” in lieu of “05 GDS 01 (E)”

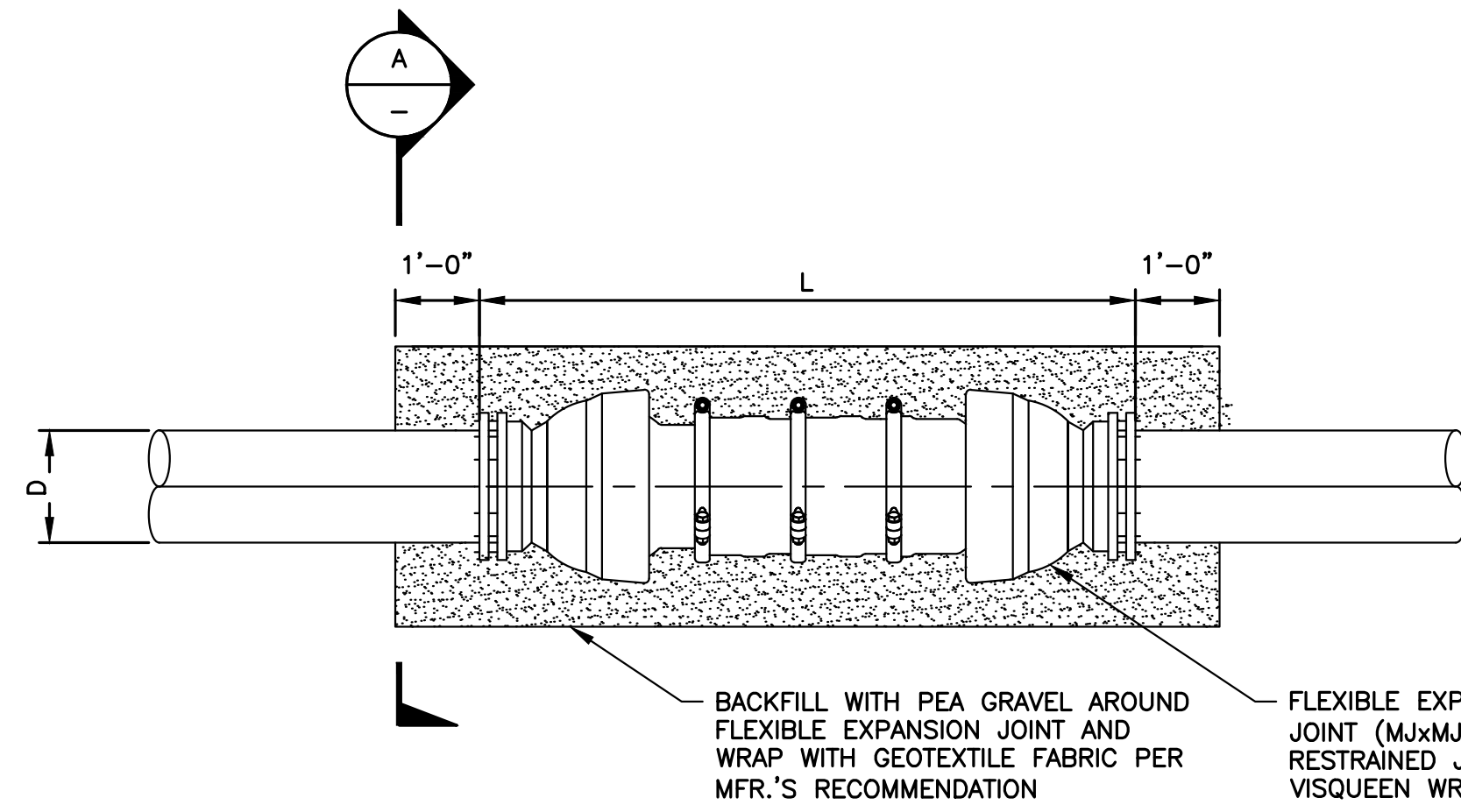
**ITEM 32:**

**SHEET TD-1.1 LOW VOLTAGE DEMOLITION PLAN**

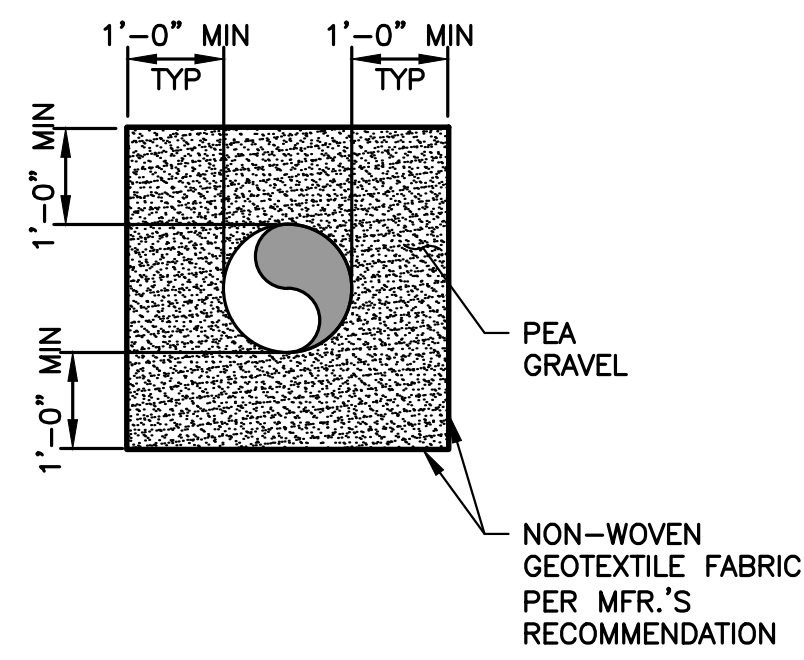
**DELETE** general note C and **REPLACE** with the following:

- “C. SECURITY CAMERAS AND ASSOCIATED CABLING WITHIN THE CONSTRUCTION AREA WILL BE DEMOLISHED BY OWNER'S VENDOR. CONTACT JUSTIN BERG WITH FAR WEST TECHNOLOGIES, INC. AT 253-286-0699 OR AT JUSTINB@FARWESTTECHNOLOGIES.COM TO COORDINATE.”

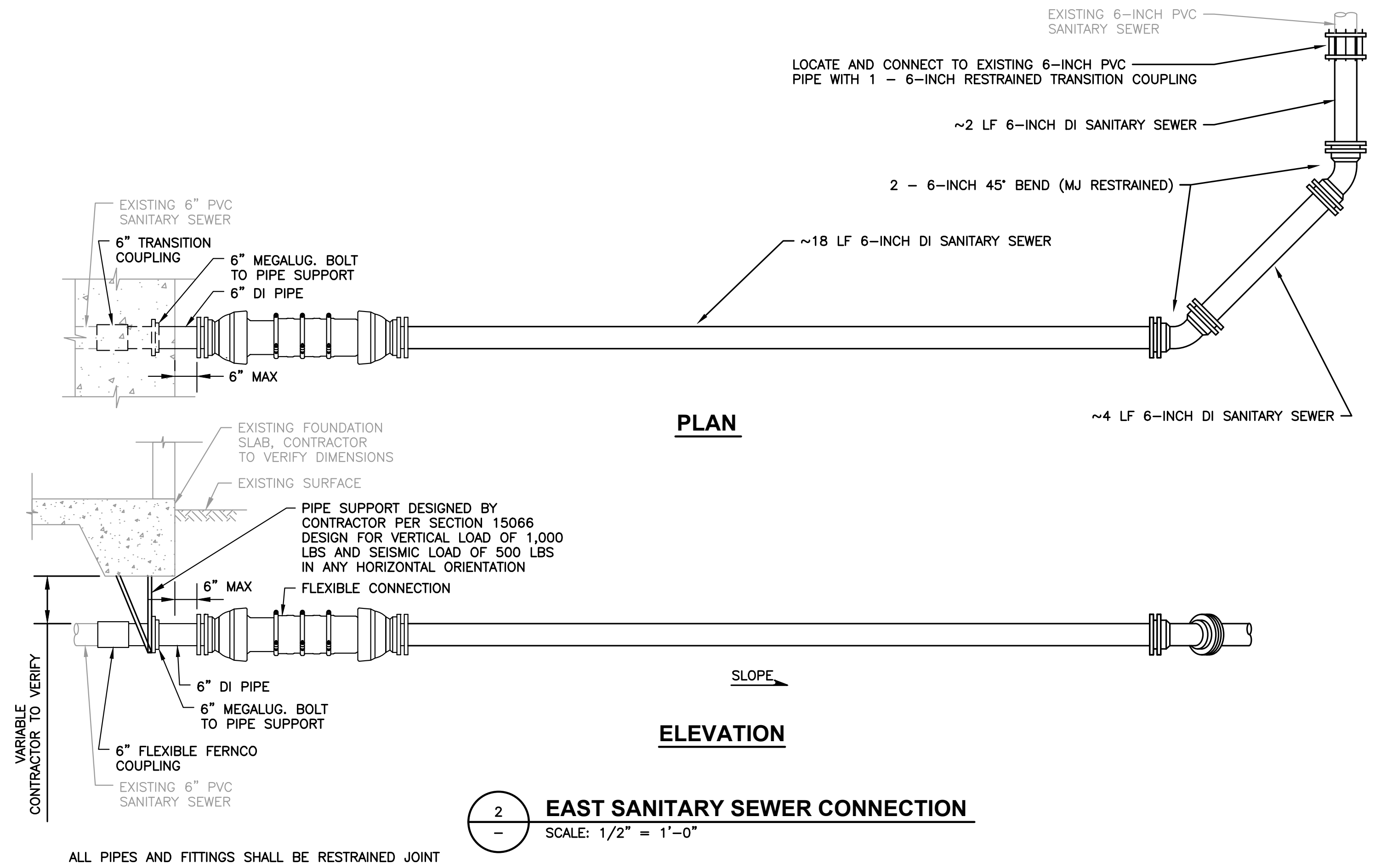
FLEXIBLE CONNECTIONS					
CONNECTION	PIPE MATERIAL	PIPE DIAMETER (D)	LAY LENGTH (L)	DETAIL	FORCED BALANCED
EAST SANITARY SEWER	DI	6-INCH	57.4-INCH	2/C-10	NO
WEST SANITARY SEWER	DI	4-INCH	54.7-INCH	3/C-10	NO
EAST FIRE CONNECTION	DI	6-INCH	57.4-INCH	4/C-10	YES
WEST WATER SERVICE	DI	3-INCH	50.3-INCH	1/C-11	YES



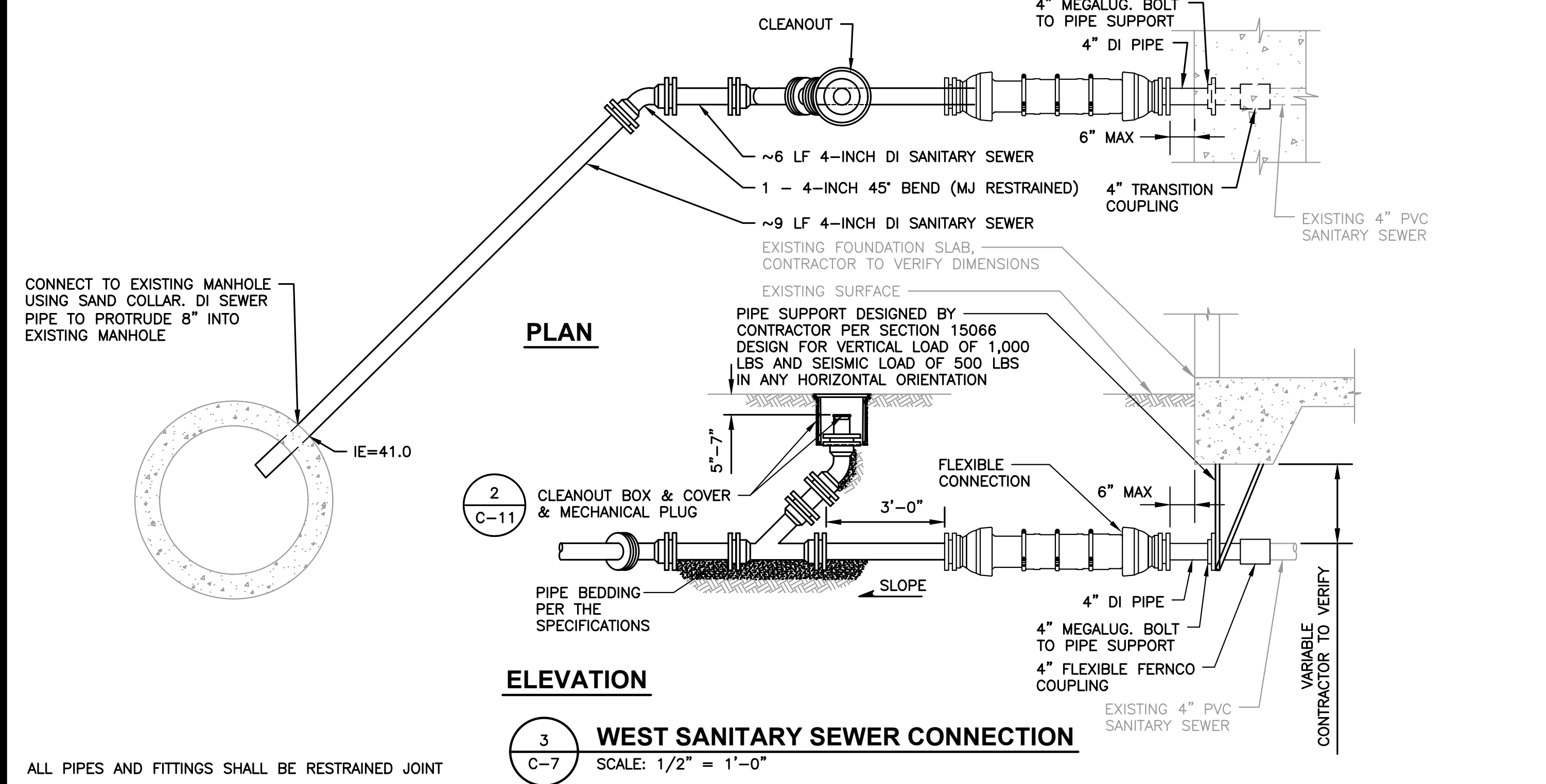
1 FLEXIBLE CONNECTION DETAIL  
C-7 NOT TO SCALE



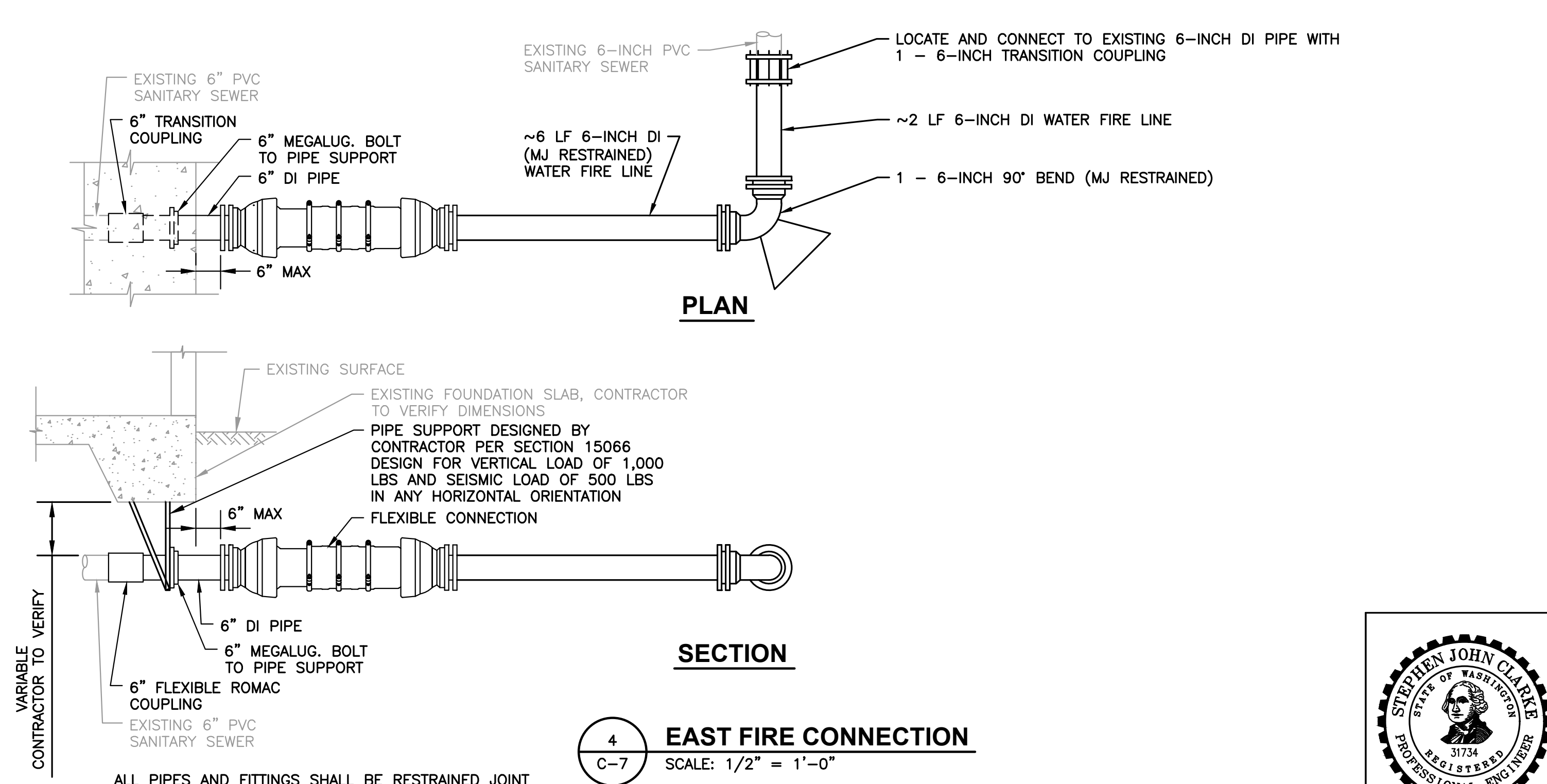
A PEA GRAVEL BEDDING  
NOT TO SCALE



2 EAST SANITARY SEWER CONNECTION  
SCALE: 1/2" = 1'-0"



3 WEST SANITARY SEWER CONNECTION  
C-7 SCALE: 1/2" = 1'-0"



4 EAST FIRE CONNECTION  
C-7 SCALE: 1/2" = 1'-0"

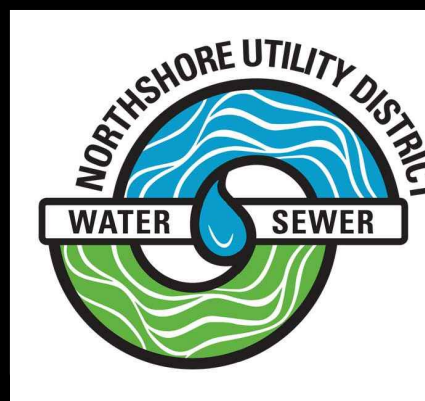
NO	BY	APPD	REVISION	DATE
1	MJB	MJB	ADDENDUM NO. 2	03/23/23

**WARNING**

IF THIS BAR DOES NOT MEASURE 1" THEN DRAWING IS NOT TO SCALE



DESIGNED BY	MTM
DRAWN BY	BS
CHECKED BY	MTM
APPROVAL	EBD
DATE	MAR. 2023



**NORTHSHORE UTILITY DISTRICT**

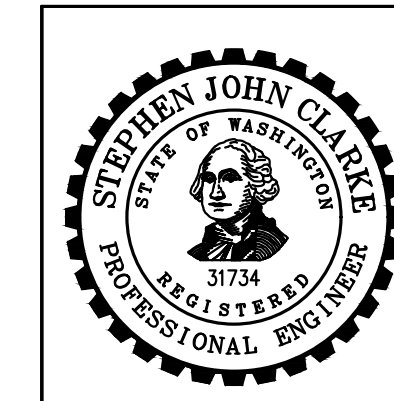
6830 NE 185th St. Kenmore, WA 98028-2684

P.O. Box 82489 Kenmore, WA 98028-2684

Ph: (425) 398-4400 | Fax: (425) 398-4430 | www.nud.net

CONTRACT 2023-01  
BUILDING "A" IMPROVEMENTS  
SCHEDULE B

**DETAILS 2**

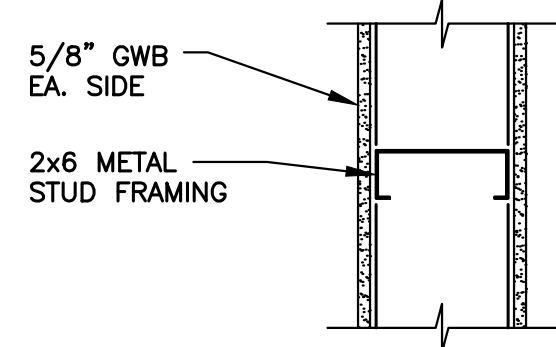


SHEET

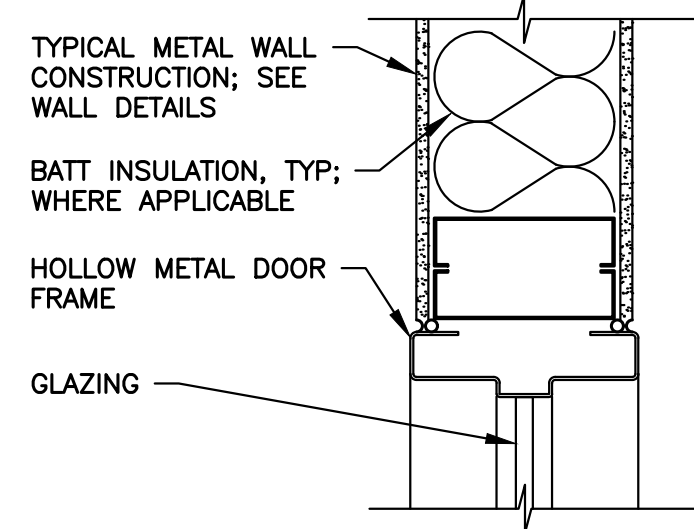
C-10  
OF 14

**WALL TYPE LEGEND**

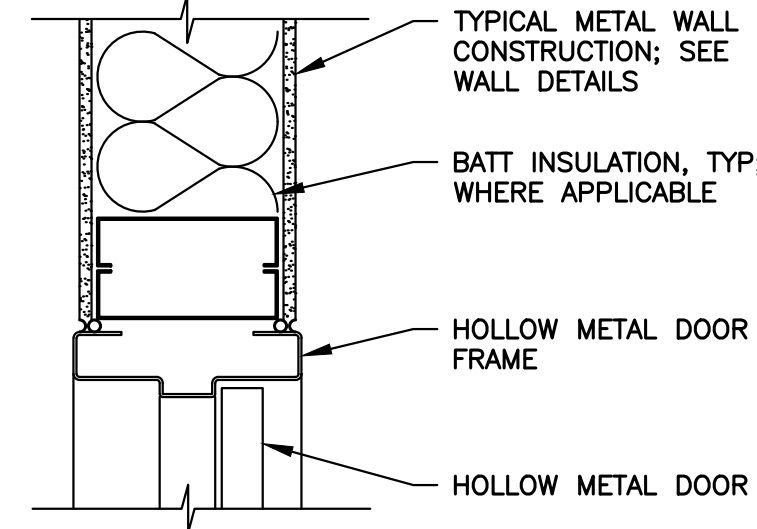
- 1 2x4 METAL STUD WALL W/ 5/8" GWB BOTH SIDES.
- 2 2x4 METAL STUD WALL W/ 5/8" GWB BOTH SIDES. SOUND ATTENUATING BATT INSULATION.
- 3 EXISTING 2x FRAMING W/ 5/8" GWB ONE SIDE.
- 4 EXISTING 2x FRAMING W/ 5/8" GWB ONE SIDE. SOUND ATTENUATING BATT INSULATION.
- 5 2x6 METAL STUD WALL W/ 5/8" GWB BOTH SIDES.
- 6 2x4 METAL STUD WALL @ EXISTING EXTERIOR WALL W/ 5/8" GWB ONE SIDE. R-21 BATT INSULATION.
- 7 2x4 METAL STUD WALL W/ LEVEL 3 BULLET RESISTANT PANELS AND W/ 5/8" GWB BOTH SIDES.
- 8 EXISTING CMU W/ 5/8" GWB ONE SIDE.
- 9 EXISTING 2x FRAMING W/ 5/8" GWB BOTH SIDES.
- 10 DOUBLE 2x4 METAL STUD WALL W/ 5/8" GWB AND R-21 BATT INSULATION INTERIOR SIDE; EIFS ON SUBSTRATE EXTERIOR SIDE.



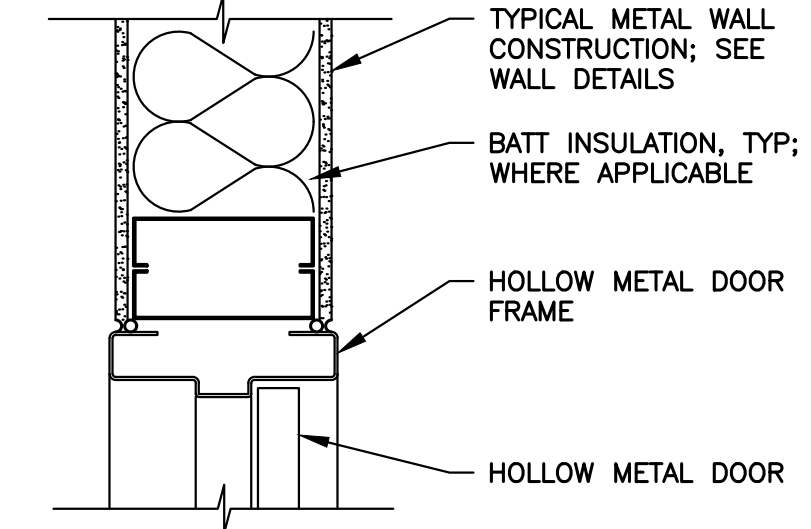
5 TYP  
**WALL DETAIL WALL TYPE 5**  
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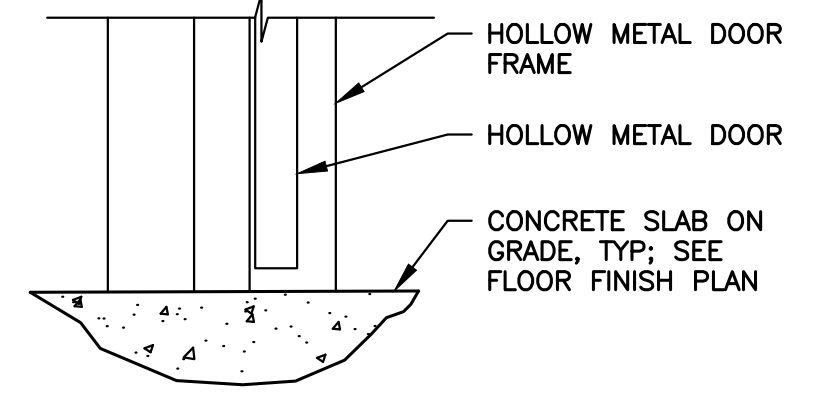
10 TYP  
**TYPICAL LITE HEAD SECTION (JAMB/SILL SIM.)**  
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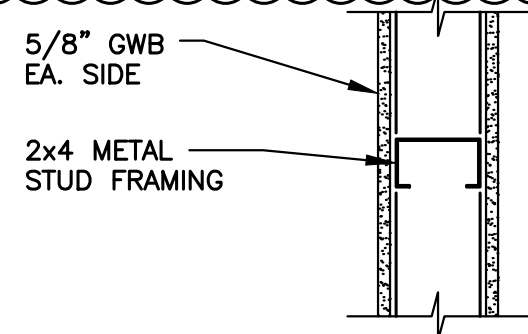
11 TYP  
**TYPICAL DOOR HEAD SECTION**  
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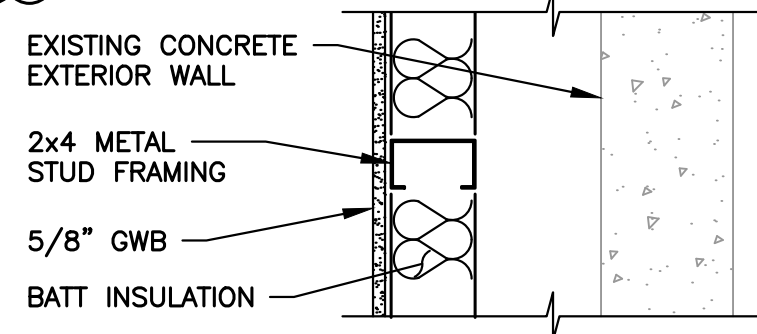
12 TYP  
**TYPICAL DOOR JAMB PLAN**  
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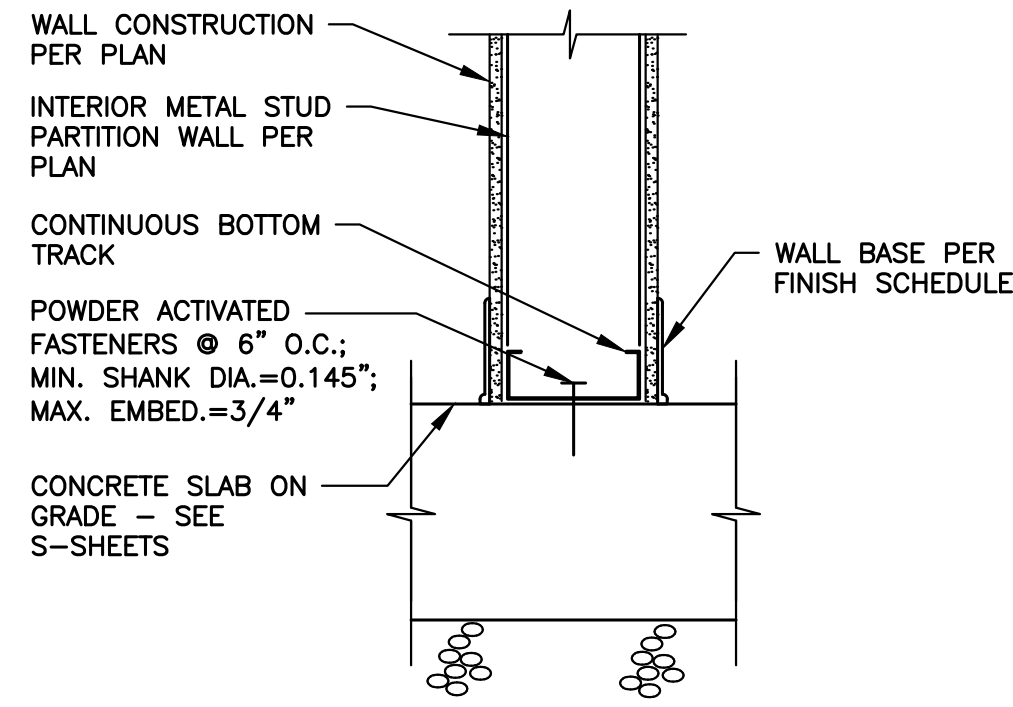
13 TYP  
**TYPICAL DOOR SILL SECTION**  
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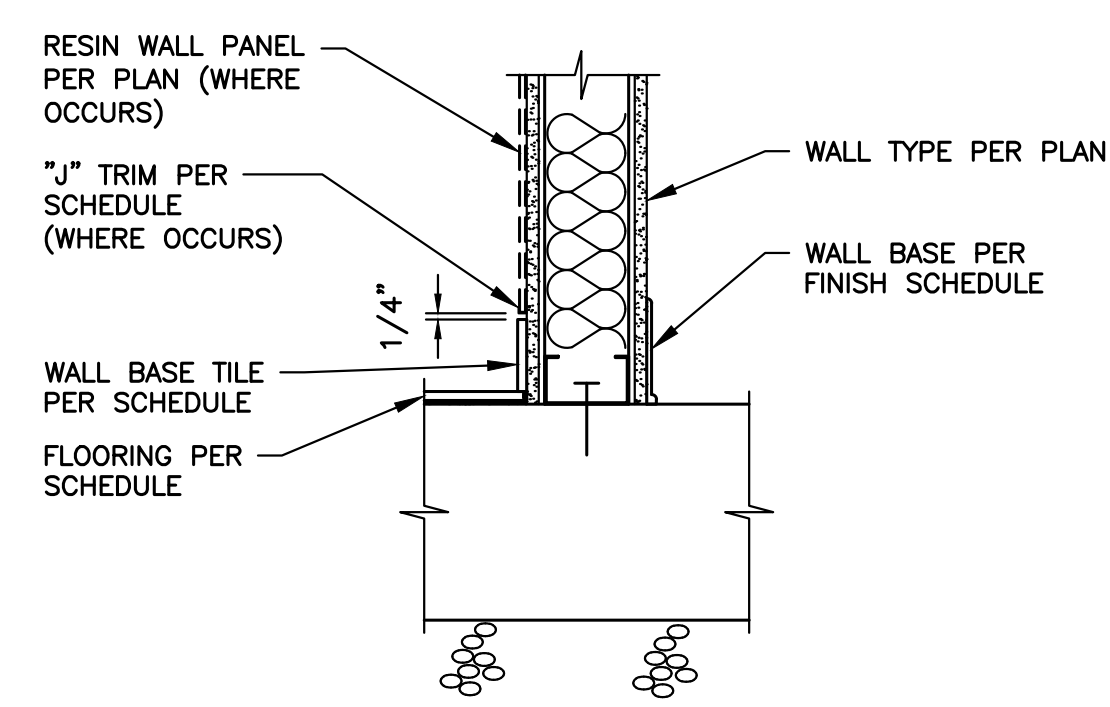
1 TYP  
**WALL DETAIL WALL TYPE 1**  
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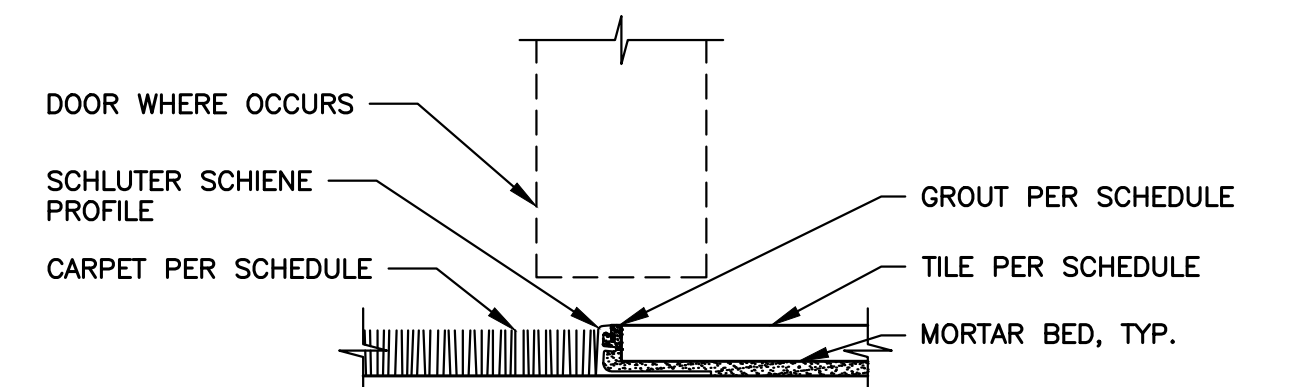
6 TYP  
**WALL DETAIL WALL TYPE 6**  
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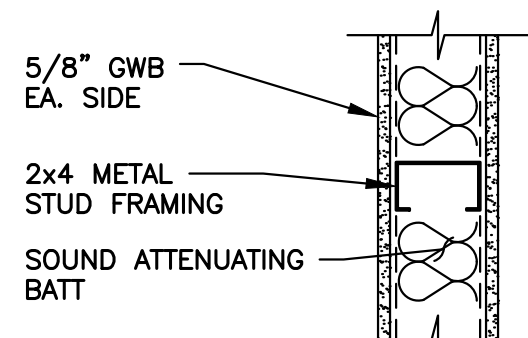
14 TYP  
**WALL BASE DETAIL**  
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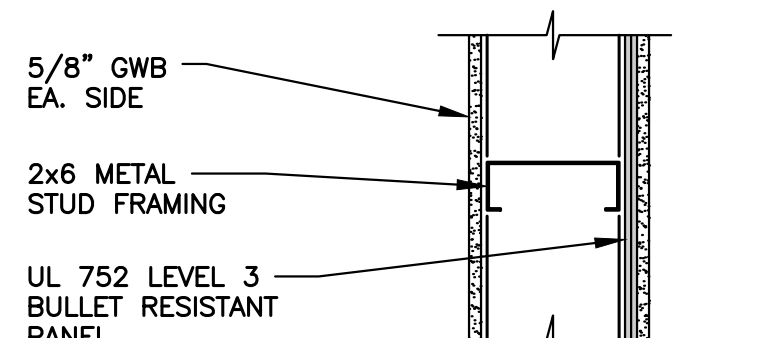
15 TYP  
**LOBBY WALL BASE**  
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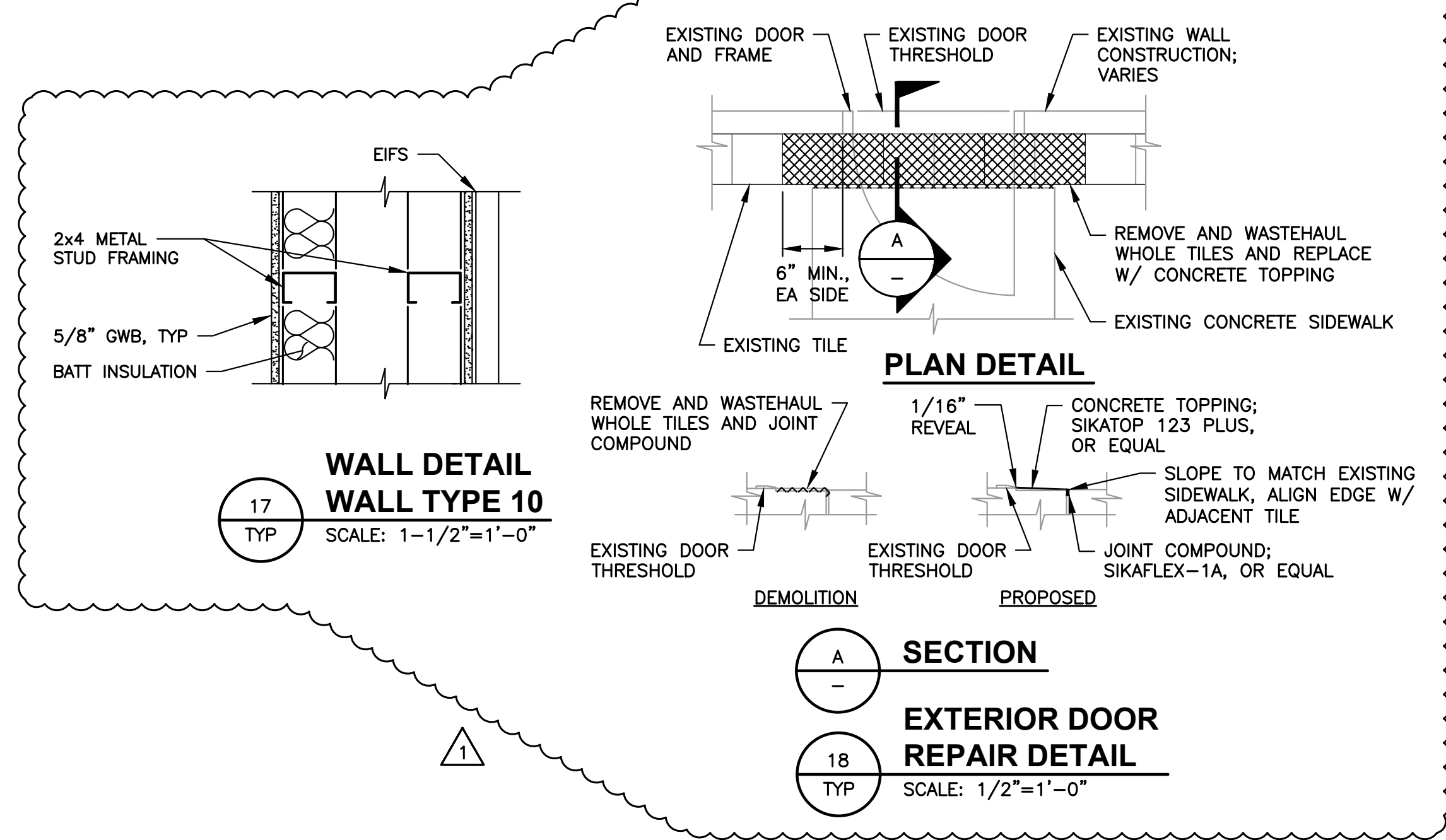
16 TYP  
**TILE FLOORING TRANSITION**  
SCALE: 6"=1'-0"



2 TYP  
**WALL DETAIL WALL TYPE 2**  
SCALE: 1-1/2"=1'-0"



7 TYP  
**WALL DETAIL WALL TYPE 7**  
SCALE: 1-1/2"=1'-0"

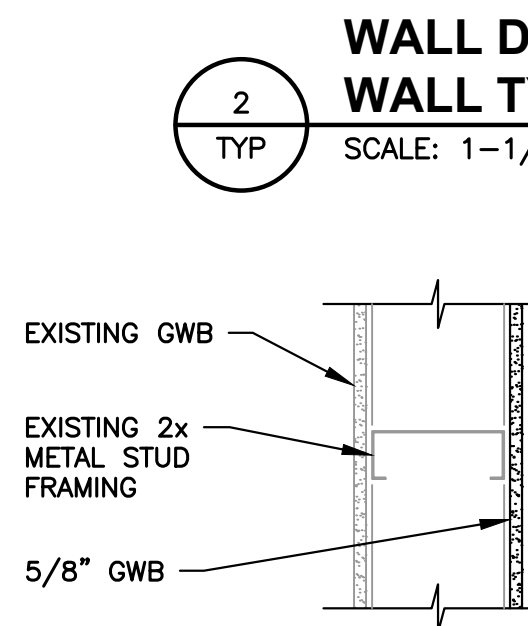


17 TYP  
**WALL DETAIL WALL TYPE 10**  
SCALE: 1-1/2"=1'-0"

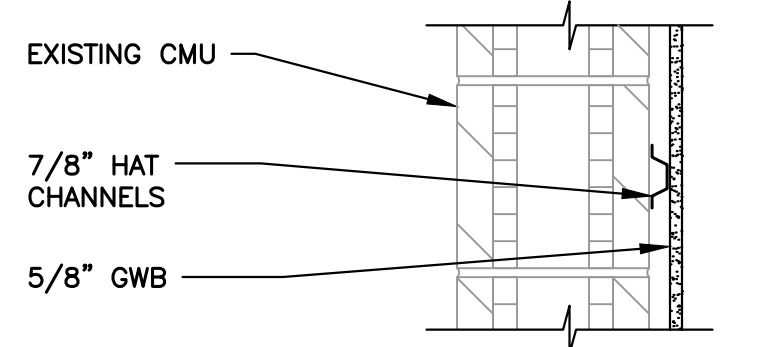
A -  
18 TYP  
**SECTION EXTERIOR DOOR REPAIR DETAIL**  
SCALE: 1/2"=1'-0"

**NOTES:**

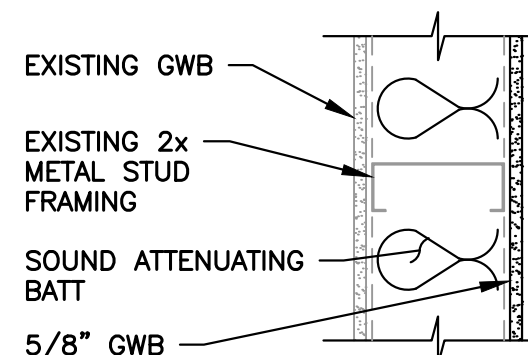
1. ALL INTERIOR PARTITION WALLS SHALL EXTEND TO A MINIMUM OF 6" ABOVE CEILING ELEVATION AND SHALL BE BRACED TO STRUCTURE IN ACCORDANCE WITH NW WALL AND CEILING BUREAU TECHNICAL DOCUMENT #200-501, OR EQUAL INDUSTRY STANDARD.
2. SUSPENDED SOFFITS, FAUX SKYLIGHT PLENUMS, AND OTHER MISCELLANEOUS FRAMING SHALL BE CONNECTED AND/OR BRACED TO ADJACENT STRUCTURE OR WALL FRAMING IN ACCORDANCE WITH THE ABOVE STANDARDS.



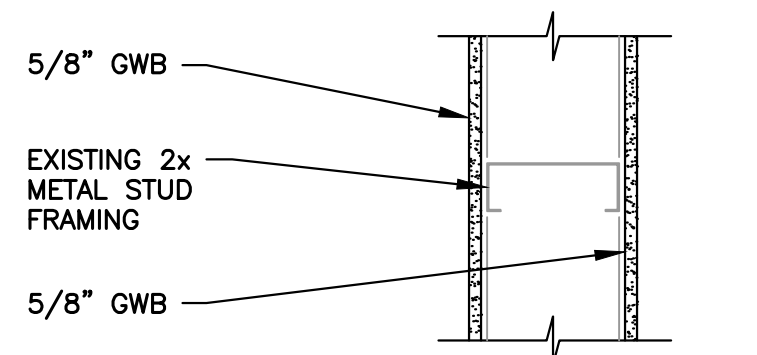
3 TYP  
**WALL DETAIL WALL TYPE 3**  
SCALE: 1-1/2"=1'-0"



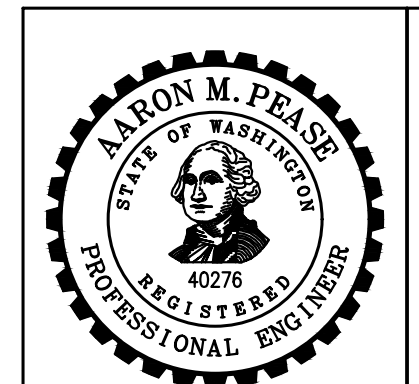
8 TYP  
**WALL DETAIL WALL TYPE 8**  
SCALE: 1-1/2"=1'-0"



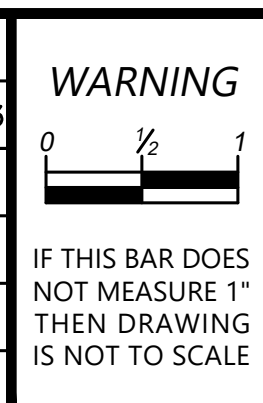
4 TYP  
**WALL DETAIL WALL TYPE 4**  
SCALE: 1-1/2"=1'-0"



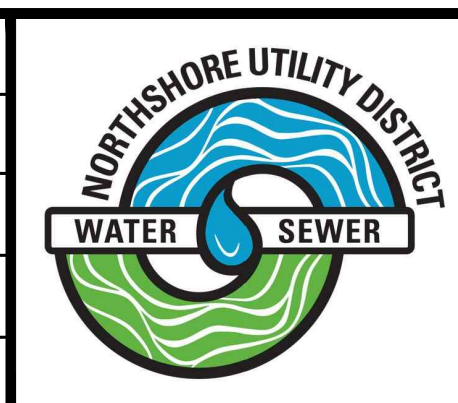
9 TYP  
**WALL DETAIL WALL TYPE 9**  
SCALE: 1-1/2"=1'-0"



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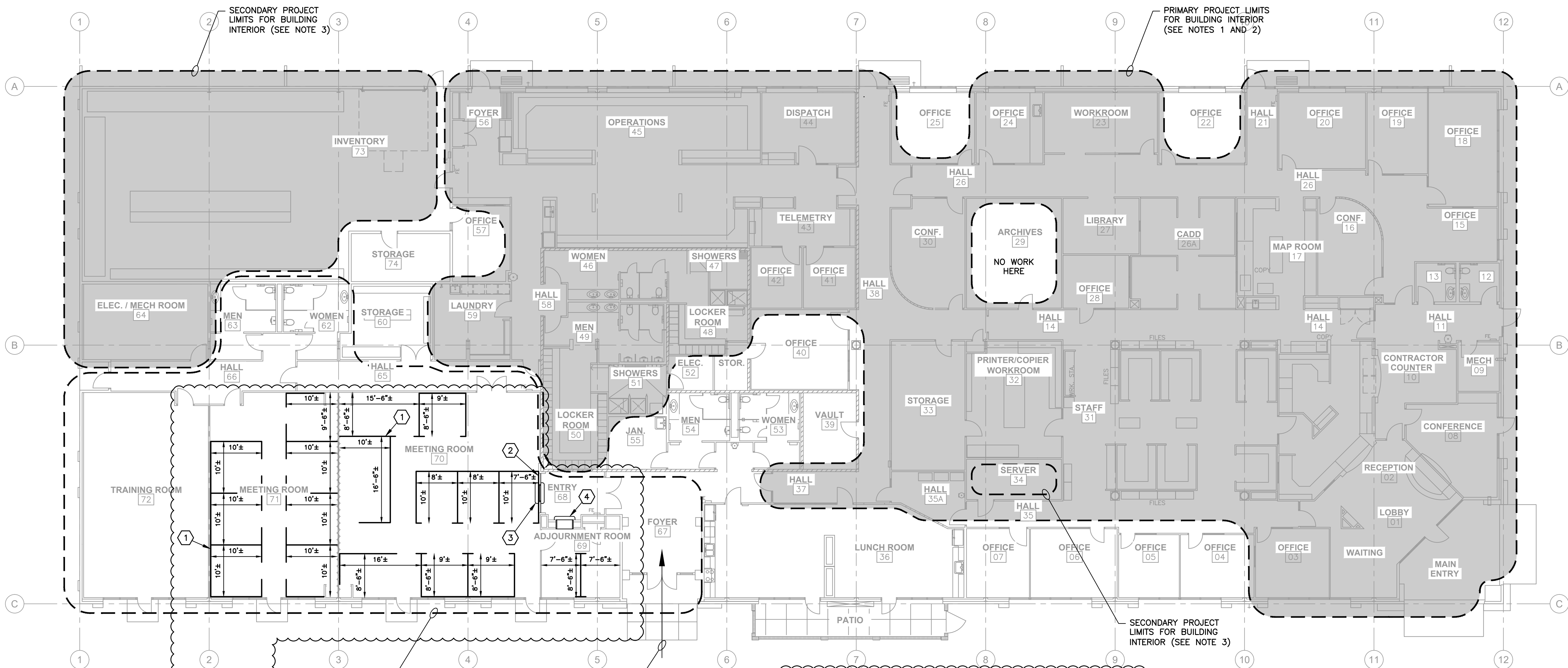
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CONTRACT 2023-01  
BUILDING "A" IMPROVEMENTS  
**ARCHITECTURAL BUILDING DETAILS 1**

SHEET  
A-1.2  
OF 24



#	TEMPORARY WORK SPACES NOTES
1	TYPICAL TEMPORARY WORK SPACE WALLS SHALL BE NOMINALLY 5'-FEET HIGH
2	8'-FOOT HIGH FRAMED DIVIDER WALL; FRICTION FIT AGAINST ADJACENT WALLS WITH COMPRESSED SILL SEALER GASKETS
3	DUTCH DOOR WITH MELAMINE, OR EQUAL, SHELF
4	CUT AND FRAME 3'-FOOT BY 3'-FOOT PASSTHRU IN EXISTING WALL, TRIM OUT WITH FINISHED MELAMINE, OR EQUAL, AND PROVIDE PLEXIGLAS PANEL OVER 90% OF OPENING

OWNER OCCUPIED TEMPORARY STAFF WORK SPACE DURING CONSTRUCTION

TEMPORARY PUBLIC ACCESS DURING CONSTRUCTION; CONTRACTOR SHALL KEEP CLEAR AT ALL TIMES

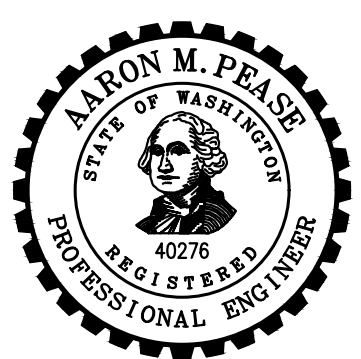
**EXISTING FLOOR PLAN**  
SCALE: 3/32"=1'-0"

**PROPOSED PHASING PLAN:**

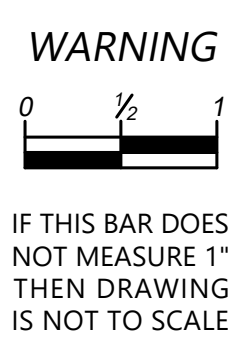
- 1 PROVIDE AND SET-UP CONTRACTOR'S TEMPORARY JOB-SITE TRAILER(S) (AS NEEDED) AND DISTRICT'S TEMPORARY OFFICE TRAILERS.
- 2 PROVIDE DESIGN AND BUILD-OUT OF TEMPORARY WORK SPACE.
- 3 COORDINATE WITH DISTRICT FOR STAFF RELOCATION FROM EXISTING OFFICES TO TEMPORARY WORK SPACES.
- 4 PROCEED WITH CONSTRUCTION WITHIN PRIMARY AND SECONDARY PROJECT LIMITS IN ACCORDANCE WITH CONTRACTOR'S SCHEDULE.
- 5 COORDINATE WITH THE LEGACY GROUP AS REQUIRED FOR THEIR FLOORING SCOPE.
- 6 COORDINATE WITH DISTRICT FOR STAFF MOVE FROM TEMPORARY WORK SPACES TO PERMANENT OFFICES.
- 7 DECONSTRUCT TEMPORARY WORK SPACE AND DEMOLISH FLOORING.
- 8 COORDINATE WITH THE LEGACY GROUP AS REQUIRED FOR THEM TO COMPLETE THEIR FLOORING SCOPE.
- 9 COMPLETE PROJECT PUNCHLIST AND CLOSE-OUT.

**NOTES:**

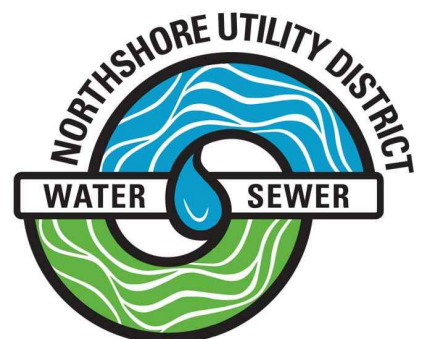
1. OWNER WILL VACATE THE PRIMARY PROJECT LIMITS DURING CONSTRUCTION AND TEMPORARILY RELOCATE STAFF, EQUIPMENT, AND FURNISHINGS TO MEETING ROOMS 70 AND 71, AND TO THE OUTSIDE TEMPORARY OFFICE TRAILERS.
2. CONTRACTOR SHALL BE RESPONSIBLE TO DESIGN, LAYOUT, AND FURNISH THE TEMPORARY OFFICE AND WORKSPACES IN MEETING ROOMS 70 AND 71 PER SPECIFICATION 01520.
3. FOR WORK ELEMENTS THAT NEED TO OCCUR OUTSIDE OF THE PRIMARY PROJECT LIMITS; CONTRACTOR ACCESS TO NON-VACATED OFFICES AND SPACES WILL BE ACCOMMODATED BY THE OWNER DURING THE PROJECT. CONTRACTOR SHALL COORDINATE W/ THE OWNER FOR ACCESS AT LEAST ONE WEEK IN ADVANCE.
4. INVENTORY ROOM, ELEC/MECH ROOM, AND SERVER ROOM WILL REMAIN OCCUPIED AND ACTIVE BY OWNER DURING CONSTRUCTION; FOR WORK ELEMENTS IN THESE AREAS, CONTRACTOR SHALL COORDINATE WITH THE OWNER AT LEAST 4 WEEKS IN ADVANCE.



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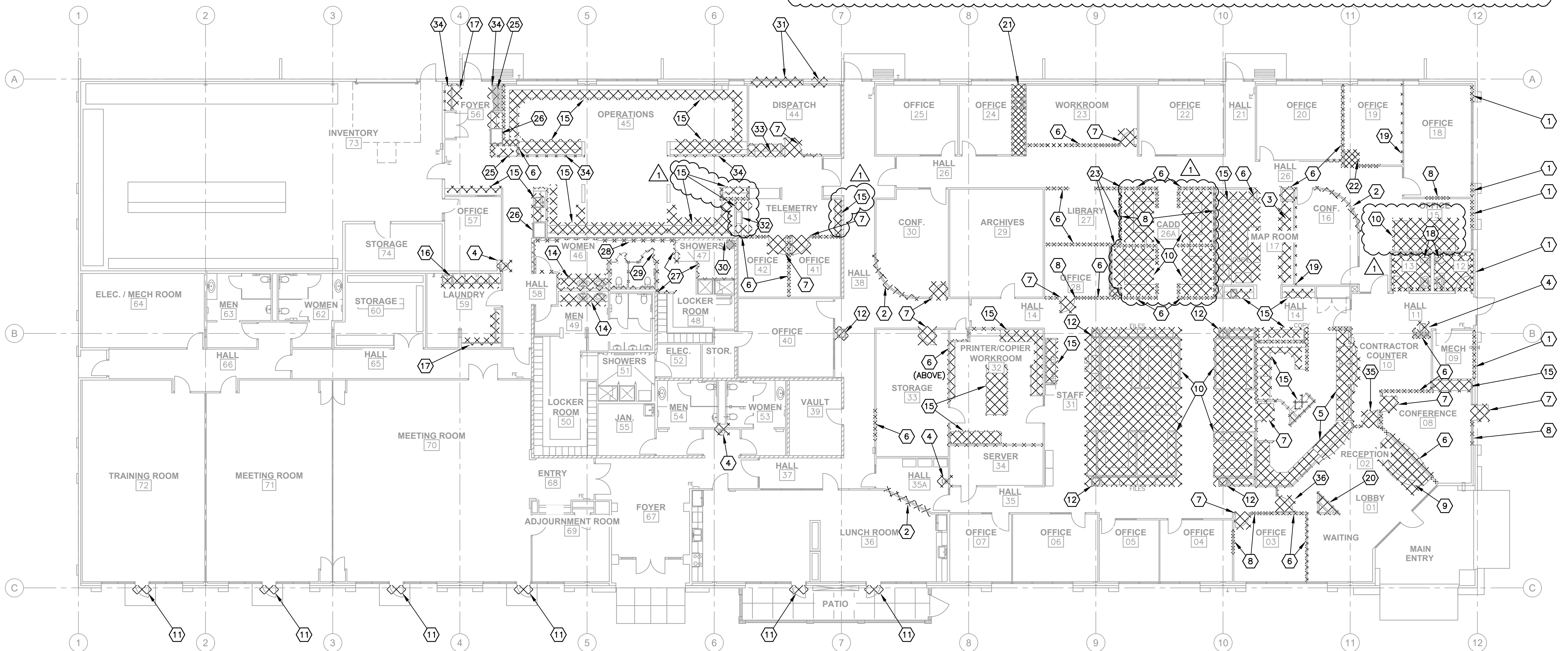
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CONTRACT 2023-01  
BUILDING "A" IMPROVEMENTS

**EXISTING FLOOR PLAN AND TEMPORARY WORK SPACE**

**NOTES:**

1. CONTRACTOR SHALL BECOME FAMILIAR WITH EXISTING CONDITIONS AND EXTENT OF DEMOLITION WORK PRIOR TO BIDDING.
2. CONTRACTOR SHALL VERIFY EXISTING CONDITIONS PRIOR TO STARTING THE WORK.
3. THE CONTRACTOR SHALL PROTECT ALL EXISTING FINISHES, MATERIALS, STRUCTURAL ELEMENTS, ELECTRICAL, MECHANICAL, AND PLUMBING THAT ARE NOT A PART OF THE WORK. ANY SURFACES DAMAGED BY THE CONTRACTOR'S ACTIVITIES SHALL BE REPAIRED TO AN EXISTING OR BETTER CONDITION BY THE CONTRACTOR.
4. REPAIRS AT EXTERIOR THRESHOLD LOCATIONS SHALL BE PER DETAIL 18 ON SHEET A-1.2.



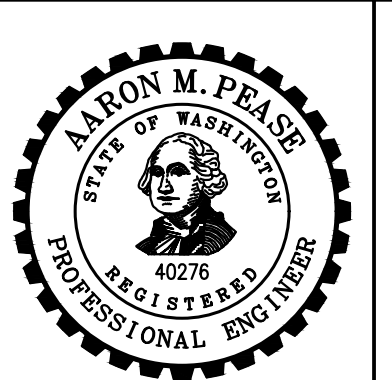
#	NOTES
1	DEMOLISH PORTIONS OF EAST WALL FOR SEISMIC RETROFIT (SEE S-SHEETS)
2	DEMOLISH PARTIAL GLASS BLOCK WALL
3	DEMOLISH SHELVING; RELOCATE FILING CABINETS PER DIRECTION FROM THE OWNER IN THE FIELD
4	DEMOLISH DRINKING FOUNTAIN
5	DEMOLISH COUNTERTOP, WINDOWS, WORKTOP, CASEWORK, AND WALLS
6	DEMOLISH WALL; RELOCATE/EXTEND UTILITIES TO NEW WALL(S)
7	DEMOLISH DOOR
8	DEMOLISH WINDOW(S)

9	DEMOLISH FOUNTAIN
10	DEMOLISH CUBICLES; RELOCATE FILING CABINETS PER DIRECTION FROM THE OWNER IN THE FIELD
11	DEMOLISH EXTERIOR CERAMIC TILE ADJACENT TO DOOR THRESHOLD; SEE NOTE 4
12	DEMOLISH COLUMN FINISHES TO EXPOSE STRUCTURE
13	DEMOLISH CLOSET AND SHELVING
14	DEMOLISH RESTROOM SINKS AND COUNTERS
15	DEMOLISH WORKTOP, SHELVING, CASEWORK, ETC.
16	DEMOLISH WORKTOP AND SHELVING; REARRANGE WASHER AND DRYER MACHINES AND SERVICE SINK; SEE P SHEETS FOR ADDITIONAL WORK
17	DEMOLISH COAT RACKS AND SHELVING

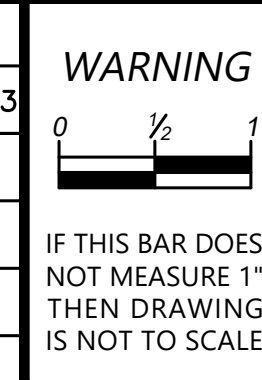
18	DEMOLISH RESTROOM FIXTURES, ACCESSORIES, WALL TILE, ETC.
19	DEMOLISH FABRIC WALL PANELS
20	DEMOLISH DISPLAY CASE
21	DEMOLISH COUNTER, CABINETS, AND SINK
22	RETAIN AND REINSTALL DOOR FRAME, LEAF, AND RELITE
23	DEMOLISH LIBRARY WALLS; RETAIN METAL SIDING
24	NOT USED
25	DEMOLISH BENCH REFRIGERATOR AREA, AND RECYCLING AREA
26	REFRIGERATOR RELOCATED BY OWNER PRIOR TO CONSTRUCTION
27	DEMOLISH ALL WALL TILE AT WOMEN'S ROOM

28	SURFACE PREP GLAZED CMU FOR NEW COATING SYSTEM
29	DEMOLISH PRIVACY STALLS AND DOORS
30	DEMOLISH WOODEN BENCH
31	DEMOLISH WINDOW, SAWCUT NEW WINDOW OPENING AND PREP OPENING FOR NEW WINDOWS
32	EXISTING MAIN TELEMETRY UNIT ("BLUE BOX") SHALL BE PRESERVED AND PROTECTED IN PLACE DURING CONSTRUCTION
33	DEMOLISH DISPATCH MAILBOX
34	DEMOLISH LAMINATE WALL PANELING
35	RETAIN DOOR FRAME, AND LEAF; REINSTALL AS DOOR #2 @ NEW CONFERENCE 3
36	RETAIN DOOR FRAME, AND LEAF; REINSTALL AS DOOR #3 @ HALL 35

**GENERAL WALL AND ITEMS DEMO PLAN**  
SCALE: 3/32"=1'-0"



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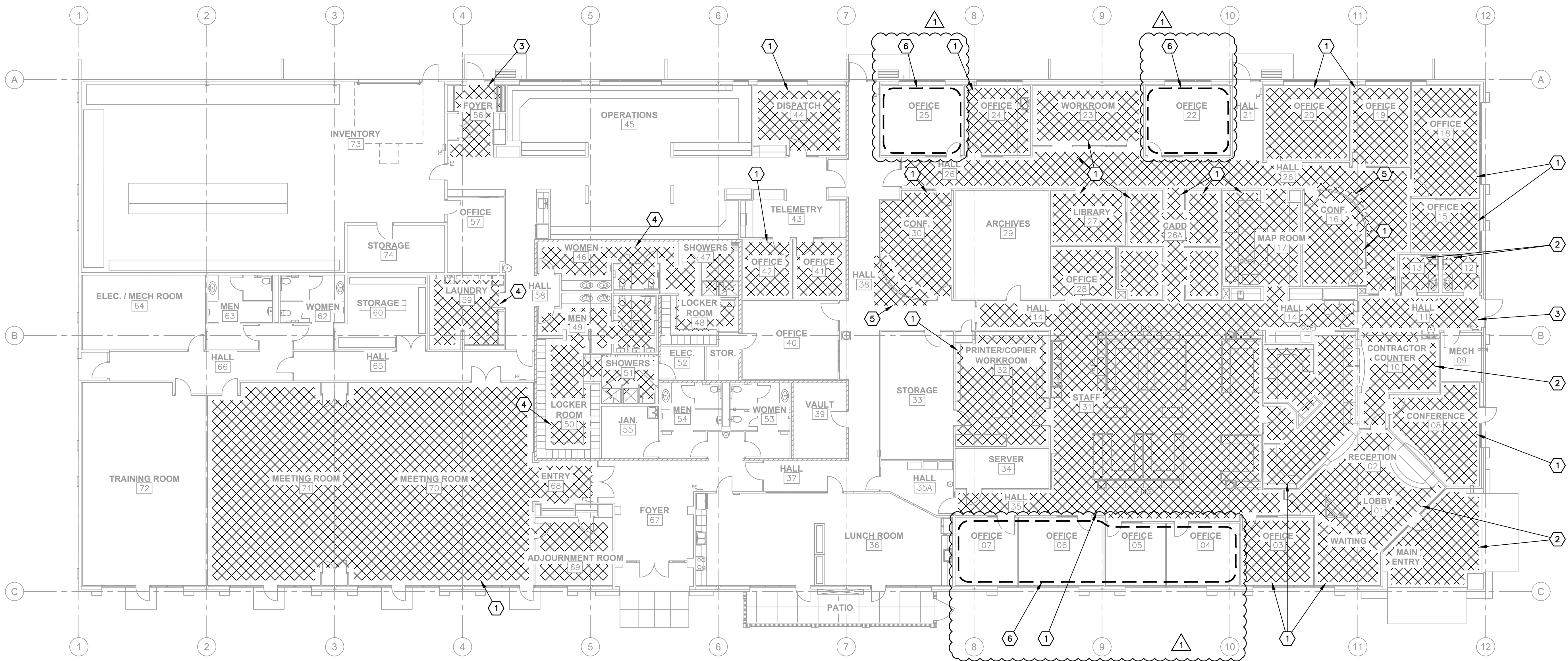
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BUILDING "A" IMPROVEMENTS  
**GENERAL DEMOLITION FLOOR PLAN**

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OF 24

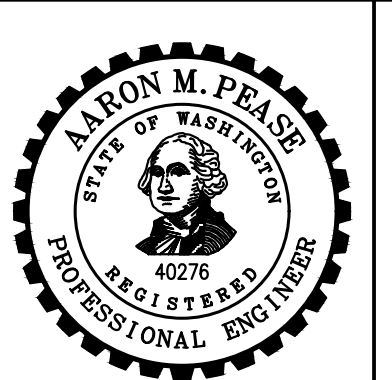


#	NOTES
1	DEMOLISH CARPET FLOORING*
2	DEMOLISH TILE FLOORING*
3	DEMOLISH HIGH TRAFFIC CARPET FLOORING*
4	DEMOLISH RESILIENT FLOORING*
5	DEMOLISH FLOORING AS REQUIRED FOR NEW WALL INSTALLATION
6	FLOORING DEMOLITION AND SURFACE PREP AT OCCUPIED OFFICES WILL BE DONE BY LEGACY GROUP IMMEDIATELY PRIOR TO THEIR CARPET INSTALL.

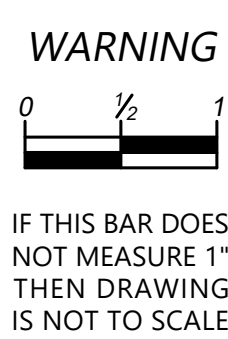
\* ALL FLOOR AREAS TO RECEIVE NEW FLOORING SHALL ALSO INCLUDE SURFACE PREP PER THE SPECIFICATIONS AND AS REQUIRED BY THE FLOORING MANUFACTURER.

- NOTES:**
- CONTRACTOR SHALL BECOME FAMILIAR WITH EXISTING CONDITIONS AND EXTENT OF DEMOLITION WORK PRIOR TO BIDDING.
  - CONTRACTOR SHALL VERIFY EXISTING CONDITIONS PRIOR TO STARTING THE WORK.
  - THE CONTRACTOR SHALL PROTECT ALL EXISTING FINISHES, MATERIALS, STRUCTURAL ELEMENTS, ELECTRICAL, MECHANICAL, AND PLUMBING THAT ARE NOT A PART OF THE WORK. ANY SURFACES DAMAGED BY THE CONTRACTOR'S ACTIVITIES SHALL BE REPAIRED TO AN EXISTING OR BETTER CONDITION BY THE CONTRACTOR.
  - SURFACE PREP FOR EXISTING CONCRETE FLOORS SHALL INCLUDE FULL REMOVAL OF EXISTING GLUE AND/OR BEDDING COMPOUND RESIDUES SUCH THAT FLOOR FLATNESS MEETS OR EXCEEDS 1/8" IN 10'. FLOORS SHALL BE CLEAN, DRY, AND FREE OF DUST AND DEBRIS PRIOR TO FLOORING FINISH INSTALLATION.

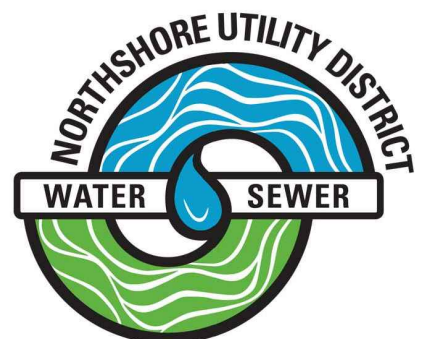
**FLOORING DEMO PLAN**  
SCALE: 3/32"=1'-0"



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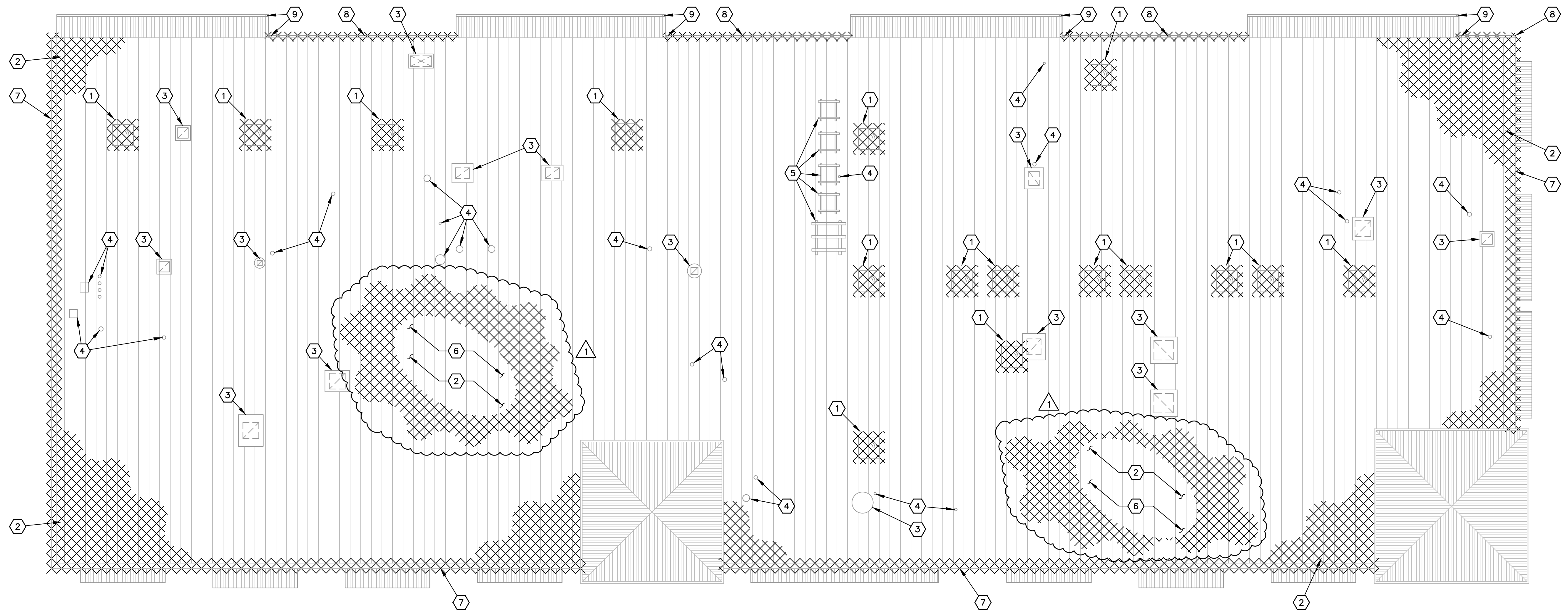


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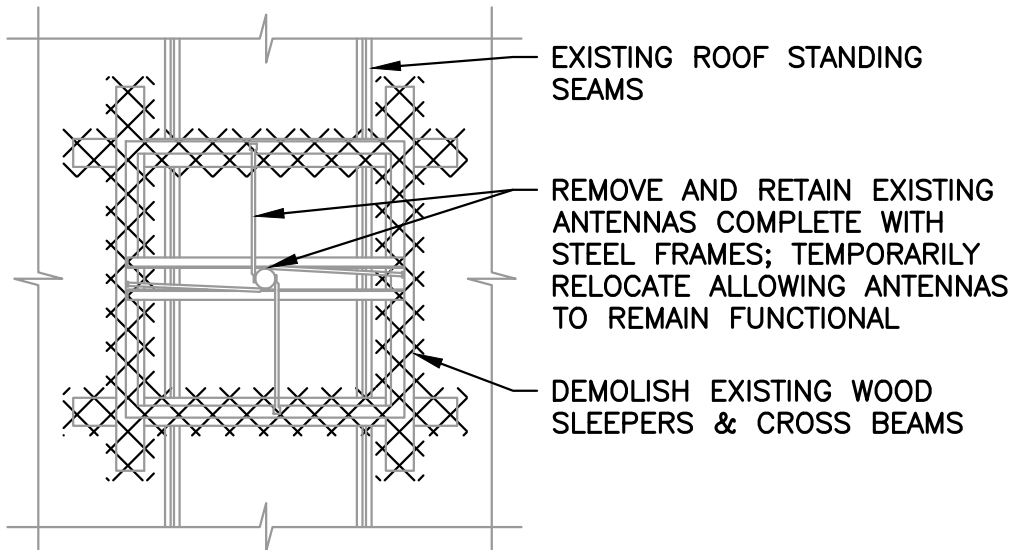
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BUILDING "A" IMPROVEMENTS  
**FLOORING FINISHES DEMOLITION PLAN**

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A-3.1  
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#	NOTES
1	DEMOLISH ALL SKYLIGHTS
2	DEMOLISH ALL ROOFING
3	REMOVE AND RETAIN EXISTING HVAC EQUIPMENT FOR REINSTALLATION
4	EXISTING ELECTRICAL OR PLUMBING PENETRATIONS
5	REMOVE EXISTING WOOD ANTENNA BASES; COORDINATE CONTINUOUS OPERATION OF ANTENNA W/ OWNER; SEE NOTE 6
6	GENERAL AREA INSULATION DEMO/REPAIRS; SEE NOTE 5
7	DEMOLISH PARAPET FLASHING
8	DEMOLISH GUTTER
9	4"Ø DOWNSPOUT TO REMAIN

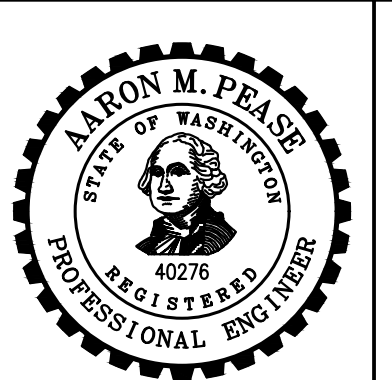


**1**  
TYP  
**TYPICAL ANTENNA BASE DEMOLITION DETAIL**  
SCALE: 1/2"=1'-0"

**DEMO ROOF PLAN**  
SCALE: 3/32"=1'-0"

**NOTES:**

- CONTRACTOR SHALL BECOME FAMILIAR WITH EXISTING CONDITIONS AND EXTENT OF DEMOLITION WORK PRIOR TO BIDDING.
- NOT ALL ROOF PENETRATIONS OR APPURTENANCES MAY BE SHOWN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY PENETRATIONS AND APPURTENANCES.
- CONTRACTOR SHALL VERIFY EXISTING CONDITIONS PRIOR TO STARTING THE WORK.
- THE CONTRACTOR SHALL PROTECT ALL EXISTING FINISHES, MATERIALS, STRUCTURAL ELEMENTS, ELECTRICAL, MECHANICAL, AND PLUMBING THAT ARE NOT A PART OF THE WORK. ANY SURFACES DAMAGED BY THE CONTRACTOR'S ACTIVITIES SHALL BE REPAIRED TO AN EXISTING OR BETTER CONDITION BY THE CONTRACTOR.
- THIS FACILITY HAS EXPERIENCED ROOF WATER LEAKS IN THE PAST. AS A RESULT, IT IS ANTICIPATED AREAS OF COVER EXISTING INSULATION AND VAPOR BARRIER WILL BE WET, DAMAGED AND/OR DETERIORATED. THESE AREAS SHALL BE REMOVED AND REPLACED W/ NEW BATT INSULATION AND VAPOR BARRIER TO MATCH EXISTING. IT SHALL BE ASSUMED THERE ARE A TOTAL OF 15 - 10'x10' AREAS THAT REQUIRE REPLACEMENT.
- CONTRACTOR AND ELECTRICIAN SHALL BE RESPONSIBLE TO ENSURE ANTENNAS CAN REMAIN IN OPERATION W/ MINIMAL DISRUPTION. ANY PROPOSED OUTAGES SHALL BE COORDINATED W/ THE OWNER A MINIMUM OF 1 WEEK IN ADVANCE.

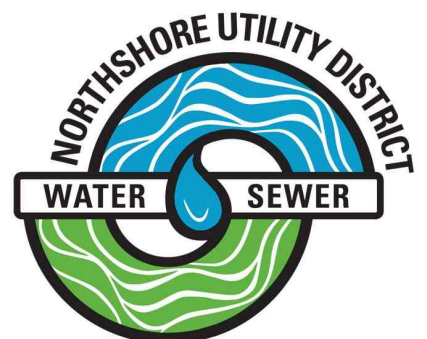


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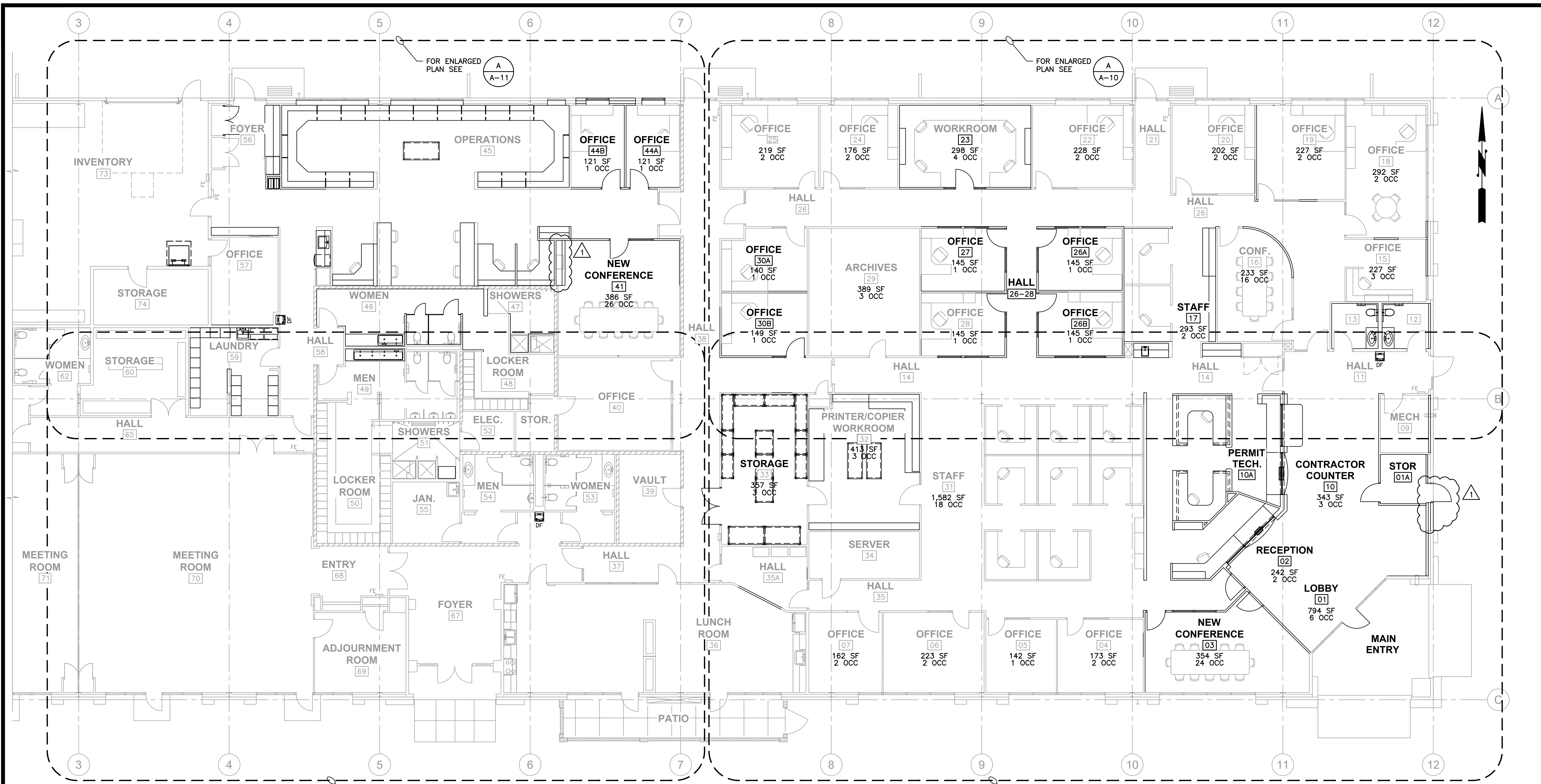
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**DEMOLITION ROOF PLAN**

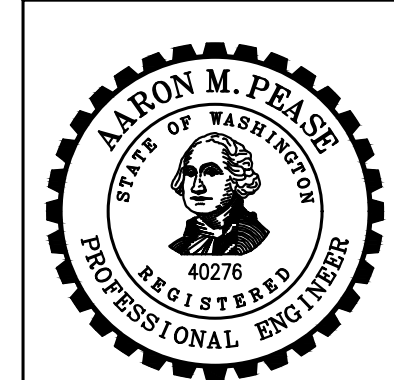
SHEET  
A-3.3  
OF 24



FOR ENLARGED  
PLAN SEE  
A  
A-12

**FLOOR PLAN**  
SCALE: 1/8"=1'-0"

FOR ENLARGED  
PLAN SEE  
A  
A-9



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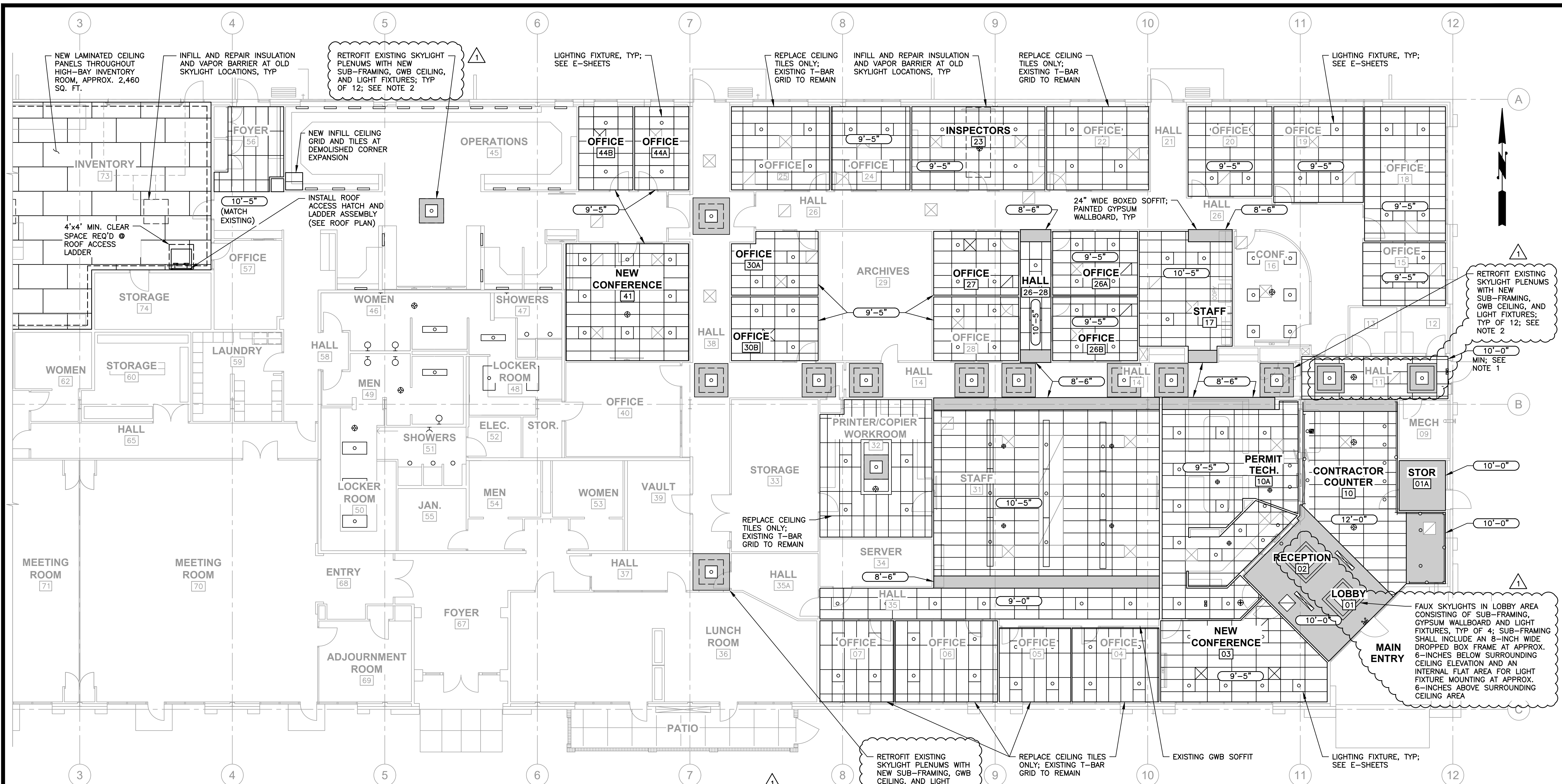
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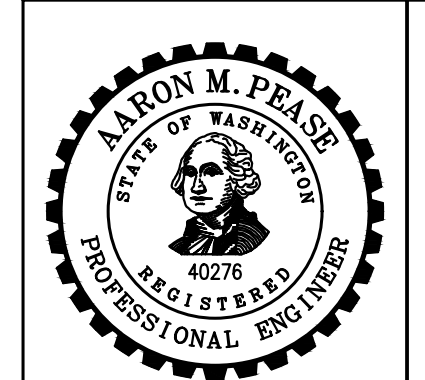
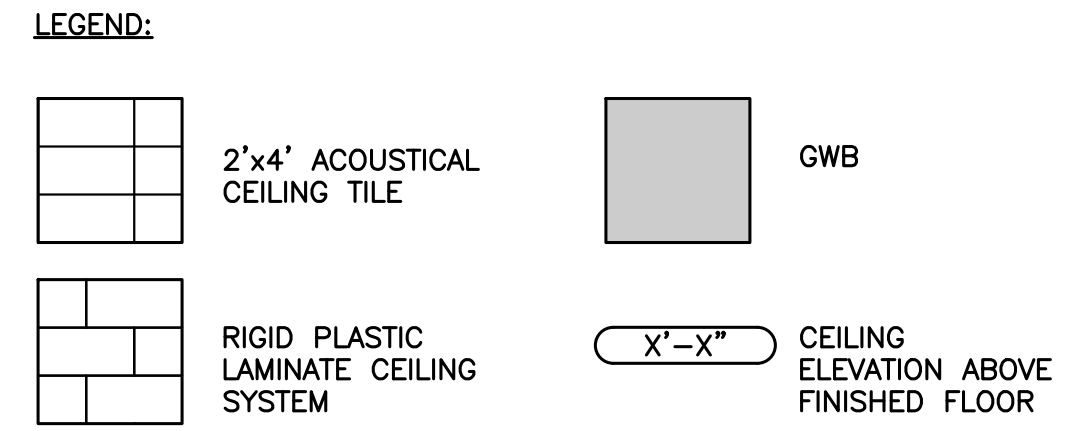
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BUILDING "A" IMPROVEMENTS  
**PROPOSED FLOOR PLAN**

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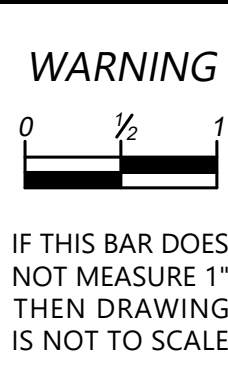


**REFLECTED CEILING PLAN**  
SCALE: 1/8"=1'-0"

- NOTES:**
1. FIELD VERIFY AND CONSTRUCT CEILING HEIGHT TO BE AS HIGH AS POSSIBLE.
  2. EXISTING SKYLIGHT PLENUMS AND SURROUNDS EXHIBIT AREAS OF DRYWALL AND PAINT DAMAGE THAT SHALL BE REPAIRED AND REPAINTED ALONG WITH THE ADDITION OF THE SUB-FRAMING FOR THE FAUX SKYLIGHT LIGHT FIXTURES. THE CONTRACTOR SHALL ASSUME APPROXIMATELY 36-INCHES OF GYPSUM WALLBOARD JOINT REPAIR AT EACH SKYLIGHT PLENUM ALONG WITH BUBBLED PAINT AREA REPAIRS OF APPROXIMATELY 12-INCHES WIDE BY 24-INCHES LONG.



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CONSULTING ENGINEERS

**GABBERT**  
ARCHITECTS  
PLANNERS

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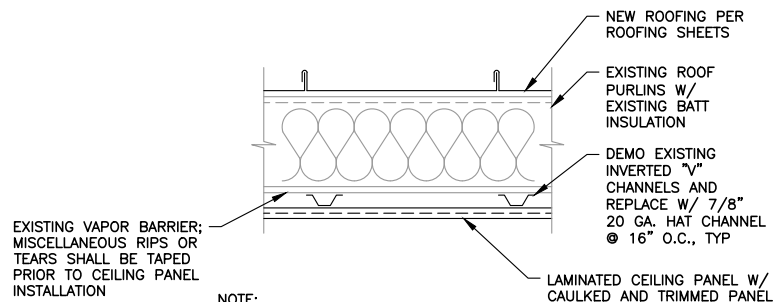
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CONTRACT 2023-01  
BUILDING "A" IMPROVEMENTS

**PROPOSED REFLECTED CEILING PLAN**

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**NOTE:**

1. NEW CEILING PANEL SYSTEM SHALL BE NOTCHED AND FIT AROUND EXISTING UTILITIES THAT ARE WITHIN THE PLANE OF THE CEILING.

3  
TYP

**INVENTORY ROOM  
LAMINATED CEILING PANEL DETAIL**

SCALE: 1-1/2"=1'-0"

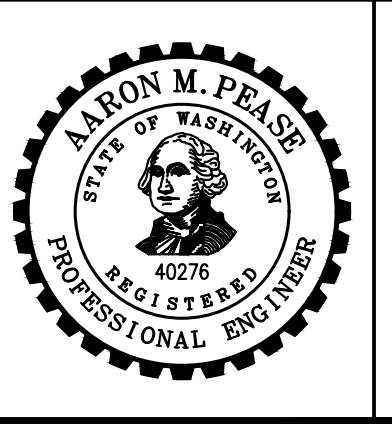
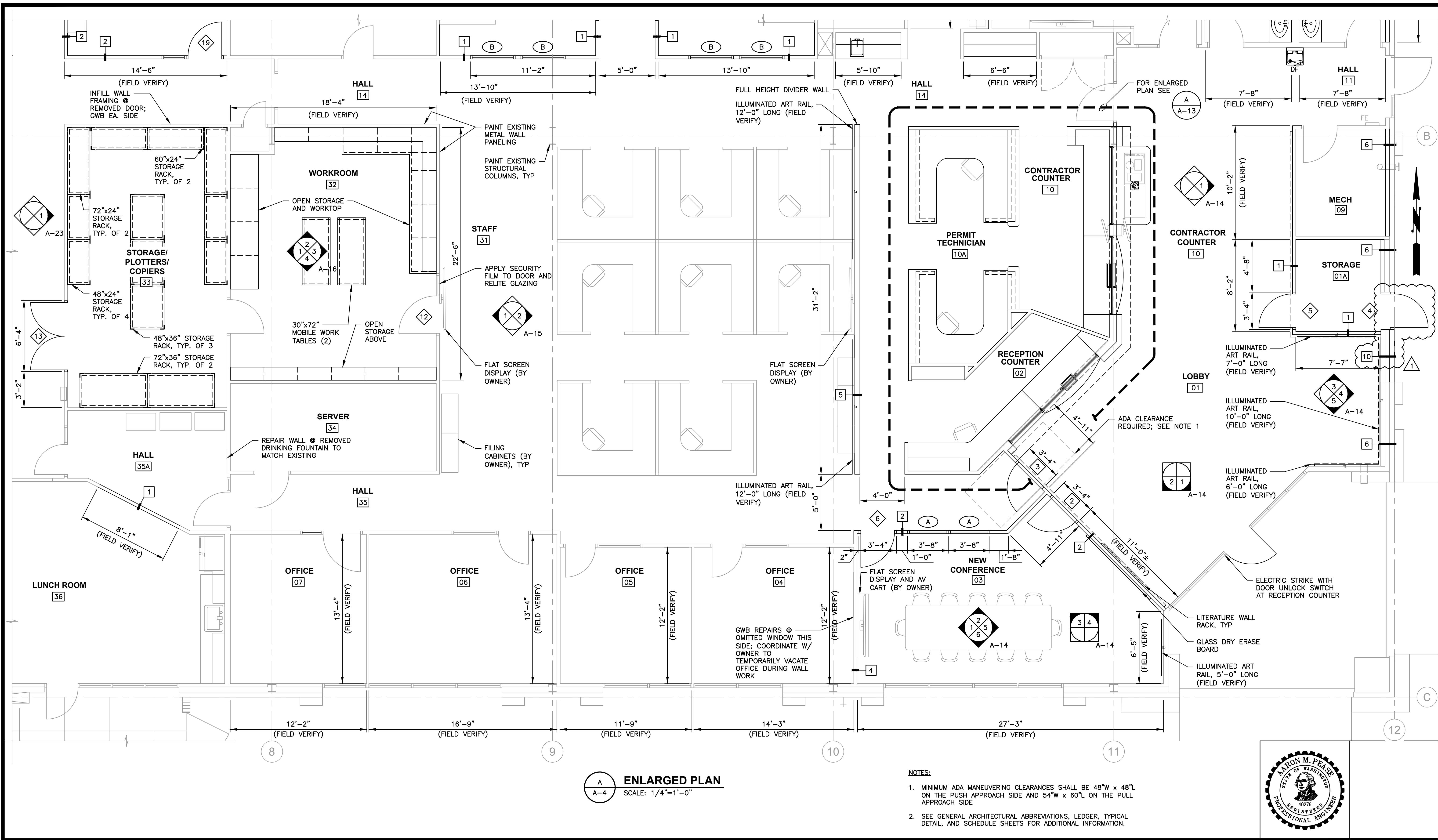
**NORTHSHORE UTILITY DISTRICT**

**BUILDING "A" IMPROVEMENTS**

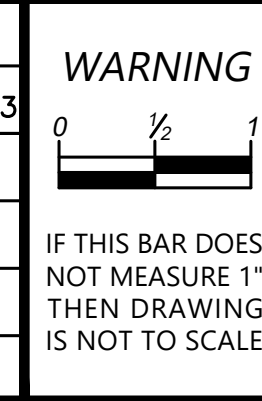
**INVENTORY ROOM LAMINATED CEILING  
PANEL DETAIL**



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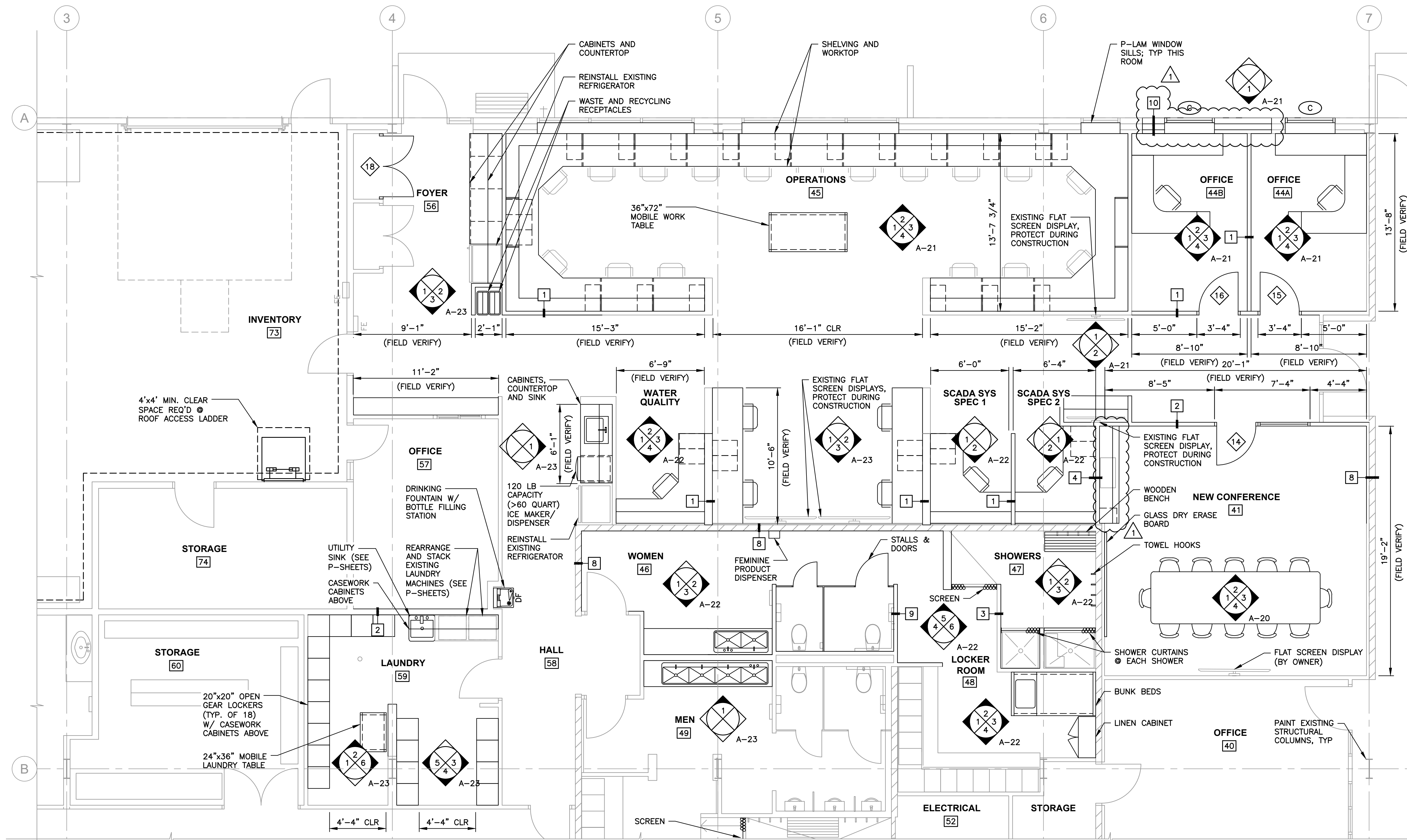
DESIGNED BY	ASD
DRAWN BY	ASD
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DATE	MAR. 2023



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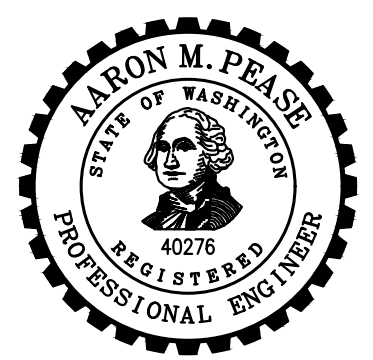
CONTRACT 2023-01  
 BUILDING "A" IMPROVEMENTS  
**ENLARGED FLOOR PLAN - SOUTHEAST**

SHEET  
 A-9  
 OF 24



**A ENLARGED PLAN**  
SCALE: 1/4"=1'-0"

- NOTES:**
- SEE GENERAL ARCHITECTURAL ABBREVIATIONS, LEDGER, TYPICAL DETAIL, AND SCHEDULE SHEETS FOR ADDITIONAL INFORMATION.
  - AS ILLUSTRATED IN THE ELEVATIONS, THE VERTICAL GYPSUM WALLBOARD SURFACES ALONG BOTH SIDES OF THE EAST-WEST "HALLWAY" FROM OFFICE 44A TO FOYER 56 SHALL INCLUDE 4-FOOT HIGH P-LAM WAINSCOTTING.

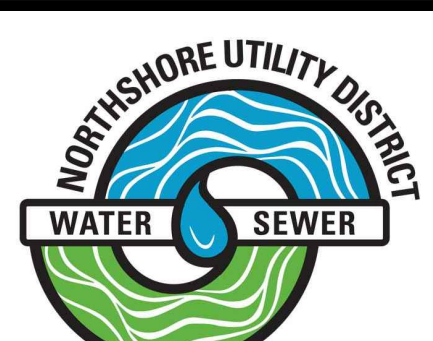


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**WARNING**  
IF THIS BAR DOES NOT MEASURE 1" THEN DRAWING IS NOT TO SCALE



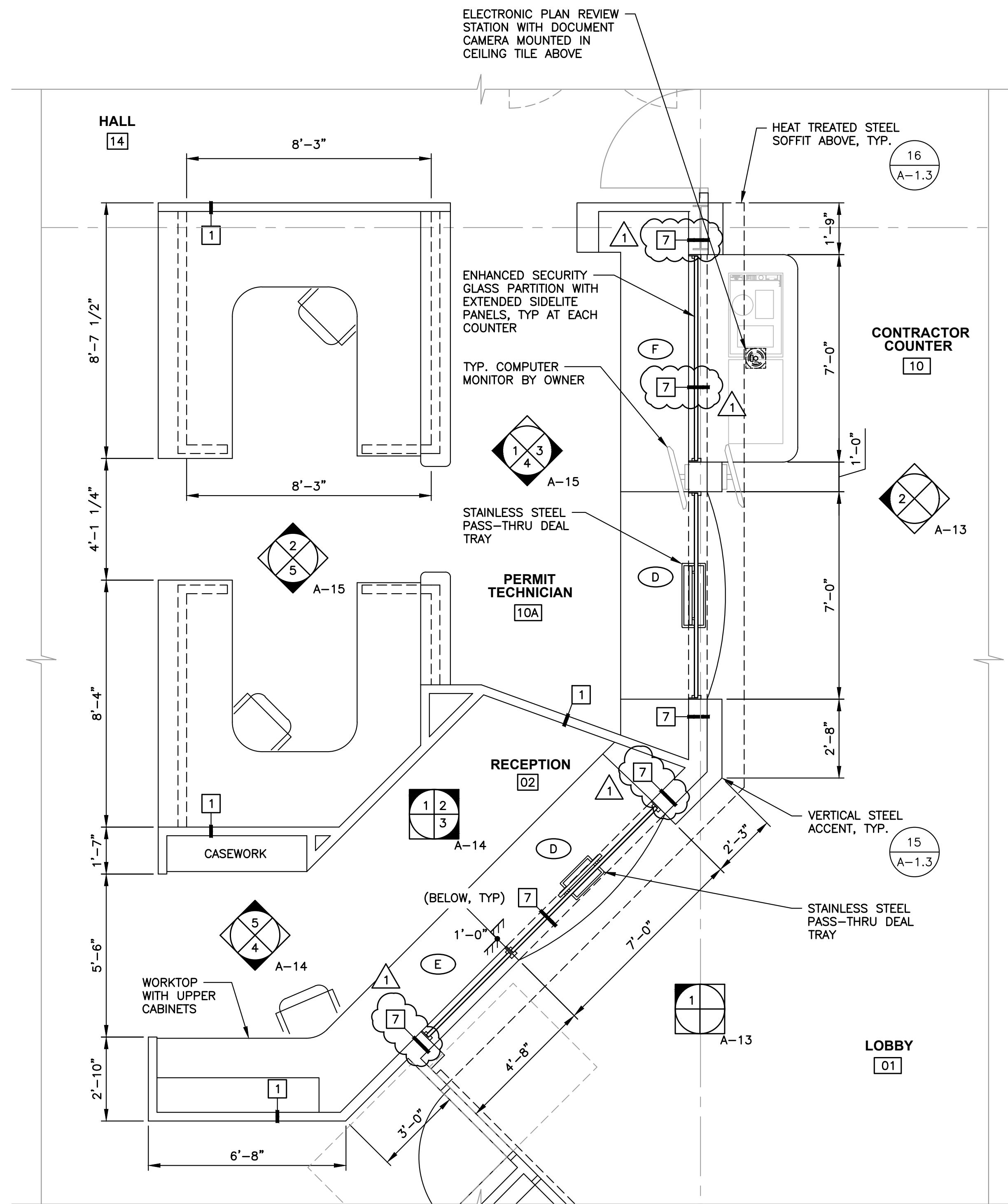
DESIGNED BY	ASD
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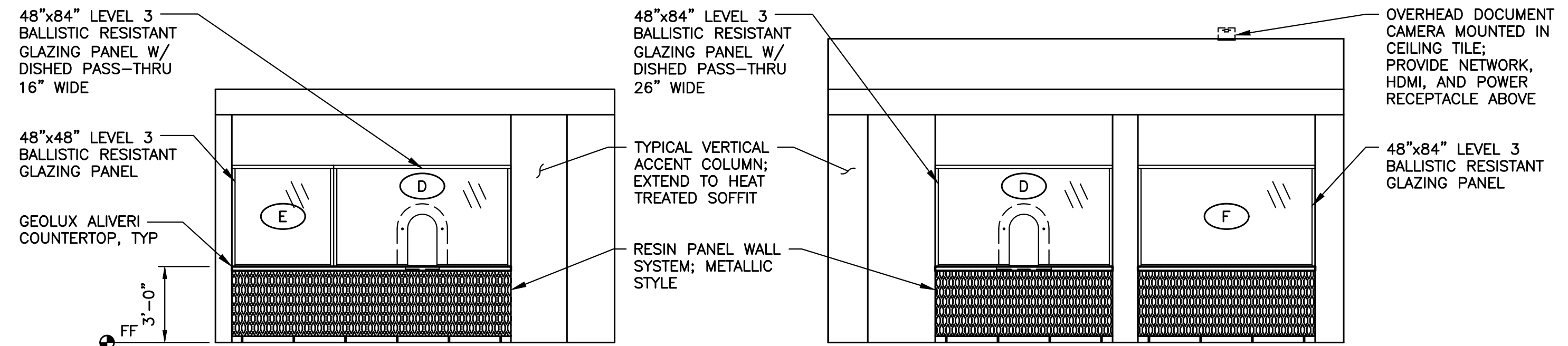
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CONTRACT 2023-01  
BUILDING "A" IMPROVEMENTS  
**ENLARGED FLOOR PLAN - NORTHWEST**

SHEET  
A-11  
OF 24



**LOBBY 01 RENDERING**  
SCALE: NTS

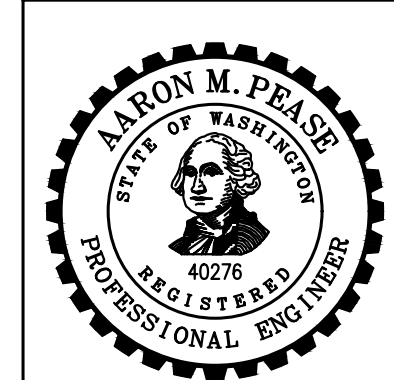


**NORTHWEST INTERIOR ELEVATION LOBBY 01**  
SCALE: 1/4"=1'-0"

**WEST INTERIOR ELEVATION CONTRACTOR COUNTER 10**  
SCALE: 1/4"=1'-0"

**ENLARGED LOBBY PLAN**  
SCALE: 3/8"=1'-0"

- NOTES:**
- SEE GENERAL ARCHITECTURAL ABBREVIATIONS, LEDGER, TYPICAL DETAIL, AND SCHEDULE SHEETS FOR ADDITIONAL INFORMATION.
  - BALLISTICS PANEL WALL CONSTRUCTION SHALL EXTEND FROM FLOOR ELEVATION UP TO 8 FEET HIGH.
  - ARCHITECTURAL STEEL ACCENTS WITHIN THE LOBBY SHALL BE HEAT TREATED TO CREATE A BLUED-STEEL EFFECT. HEAT TREATMENT SHALL BE AN ARTISTIC FLAME-TEMPERING OF A36 GRADE STEEL TO BETWEEN 530 AND 640 DEGREES FAHRENHEIT. THE STEEL SHALL BE FINISHED IN-PLACE WITH A MATTE, CLEAR SEALANT PER SPECIFICATION 09900.

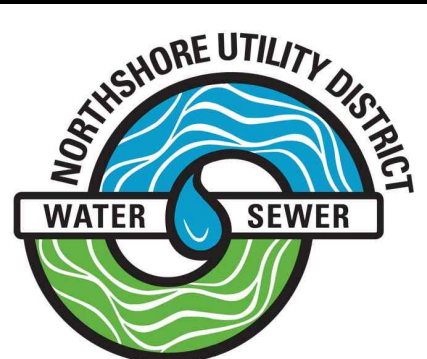


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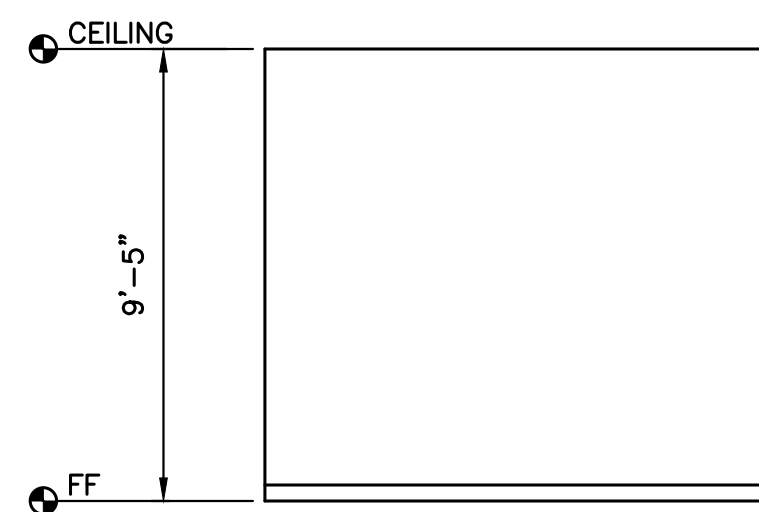


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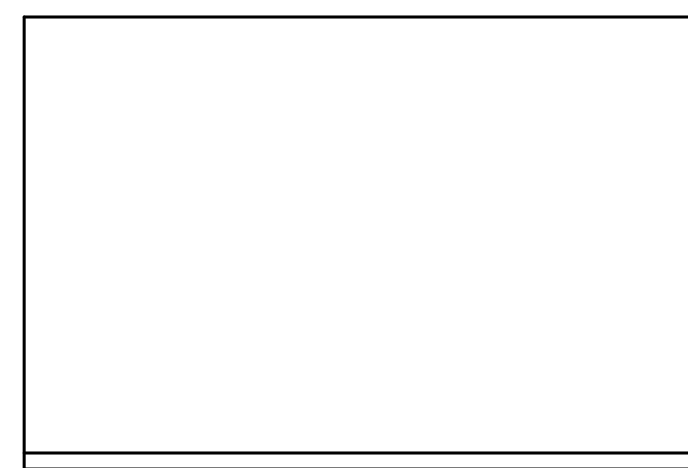


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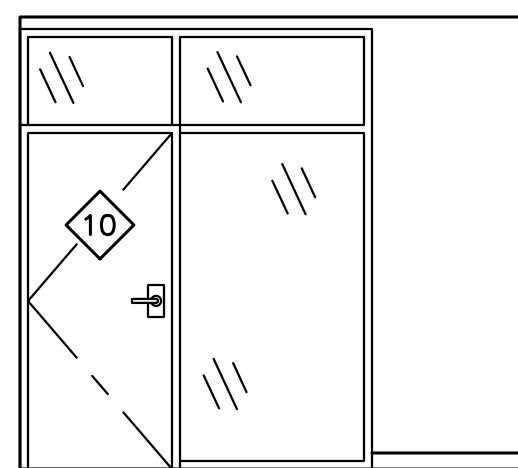
CONTRACT 2023-01  
BUILDING "A" IMPROVEMENTS  
**ENLARGED FLOOR PLAN - LOBBY**



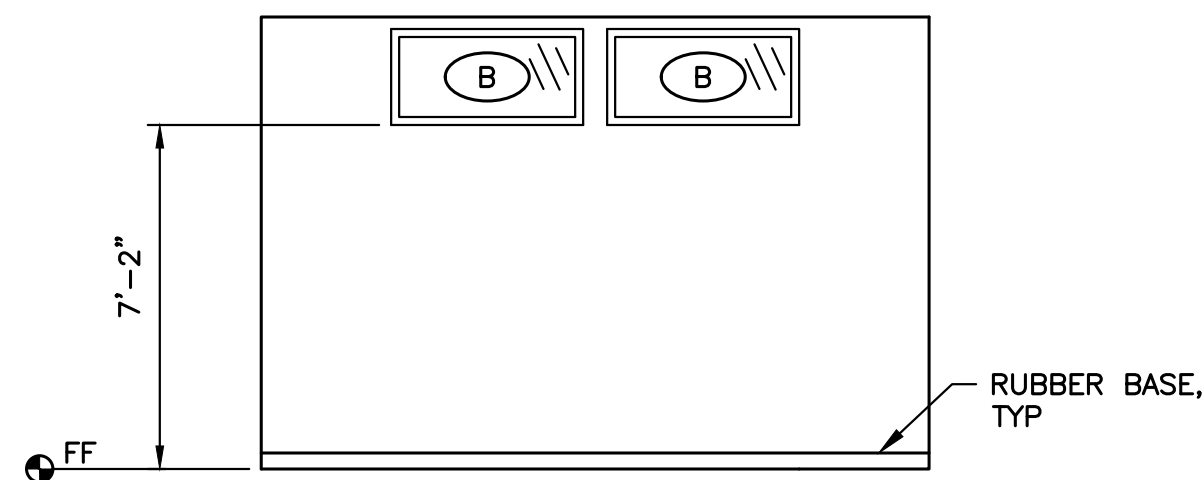
1 WEST  
A-10



2 NORTH  
A-10

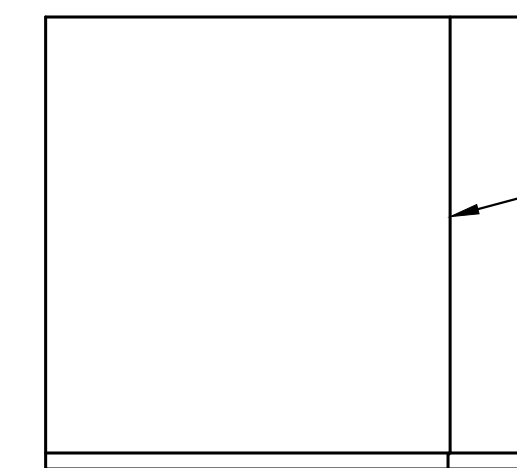


3 EAST  
A-10

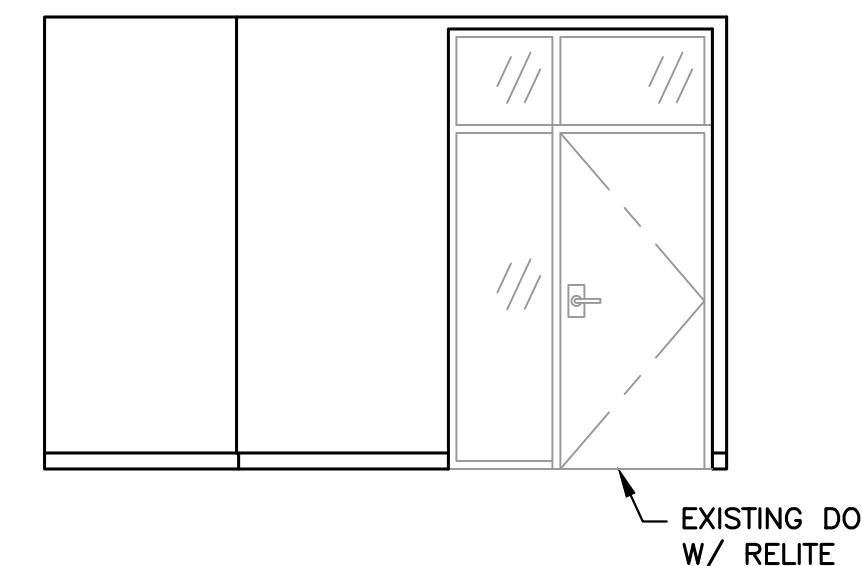


4 SOUTH  
A-10

**INTERIOR ELEVATIONS  
OFFICE 28**  
SCALE: 1/4"=1'-0"

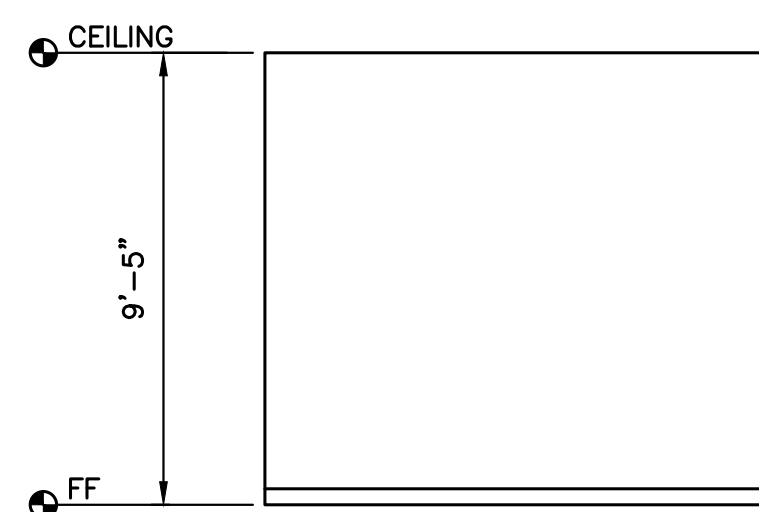


1 WEST  
A-10

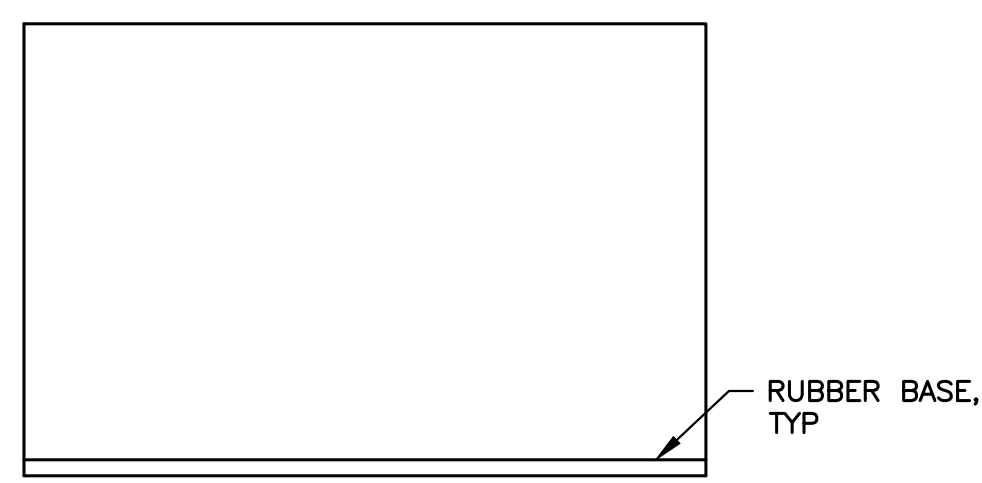


2 NORTH  
A-10

**INTERIOR ELEVATIONS  
OFFICE 30A (CONTINUED BELOW LEFT)**  
SCALE: 1/4"=1'-0"

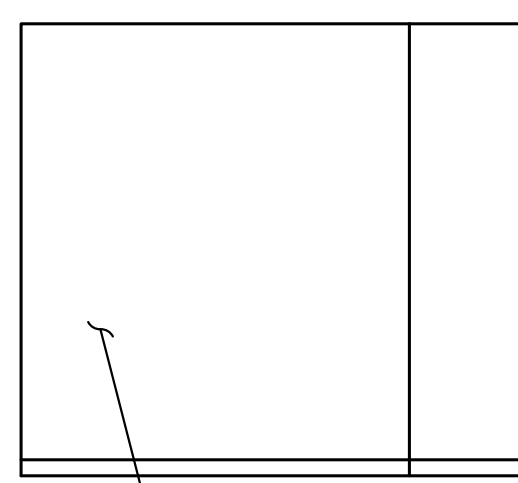


3 EAST  
A-10

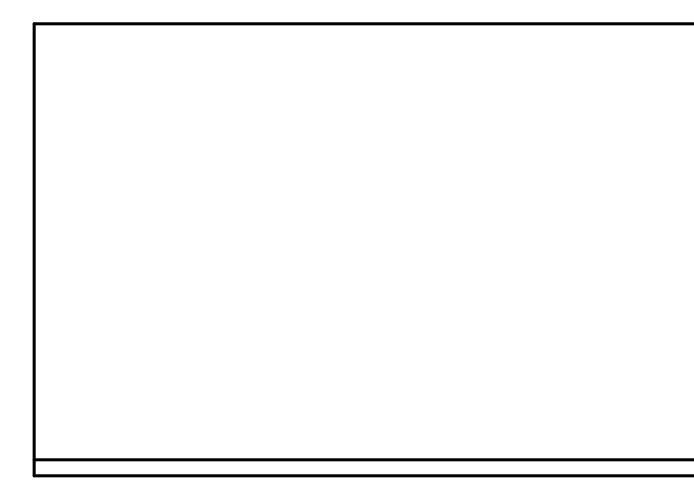


4 SOUTH  
A-10

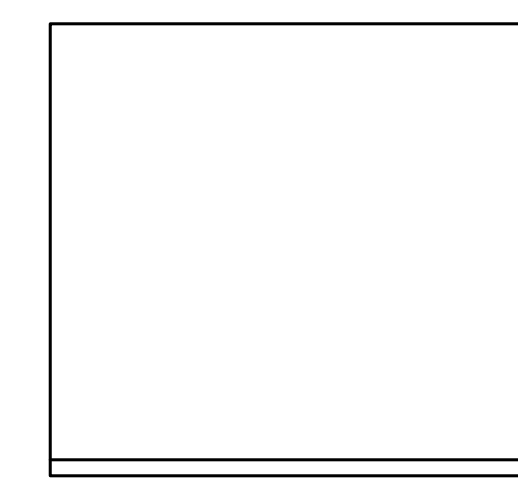
**INTERIOR ELEVATIONS  
OFFICE 30A (CONTINUED ABOVE RIGHT)**  
SCALE: 1/4"=1'-0"



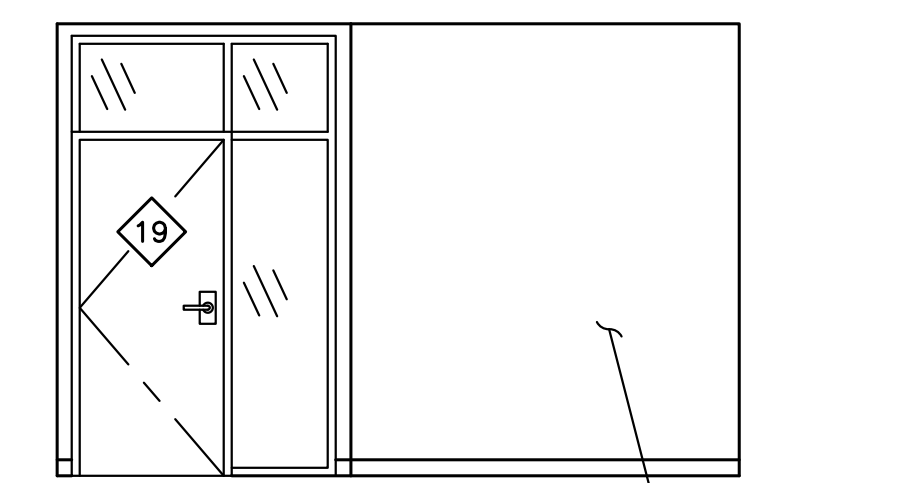
1 WEST  
A-10



2 NORTH  
A-10

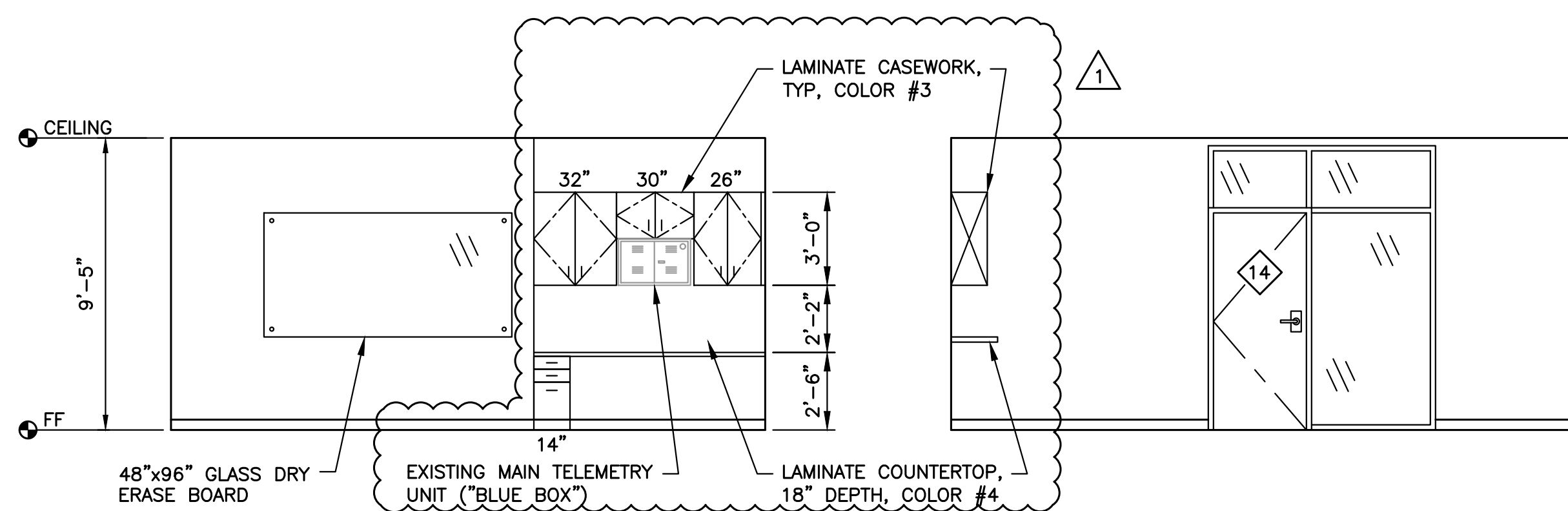


3 EAST  
A-10



4 SOUTH  
A-10

**INTERIOR ELEVATIONS  
OFFICE 30B**  
SCALE: 1/4"=1'-0"



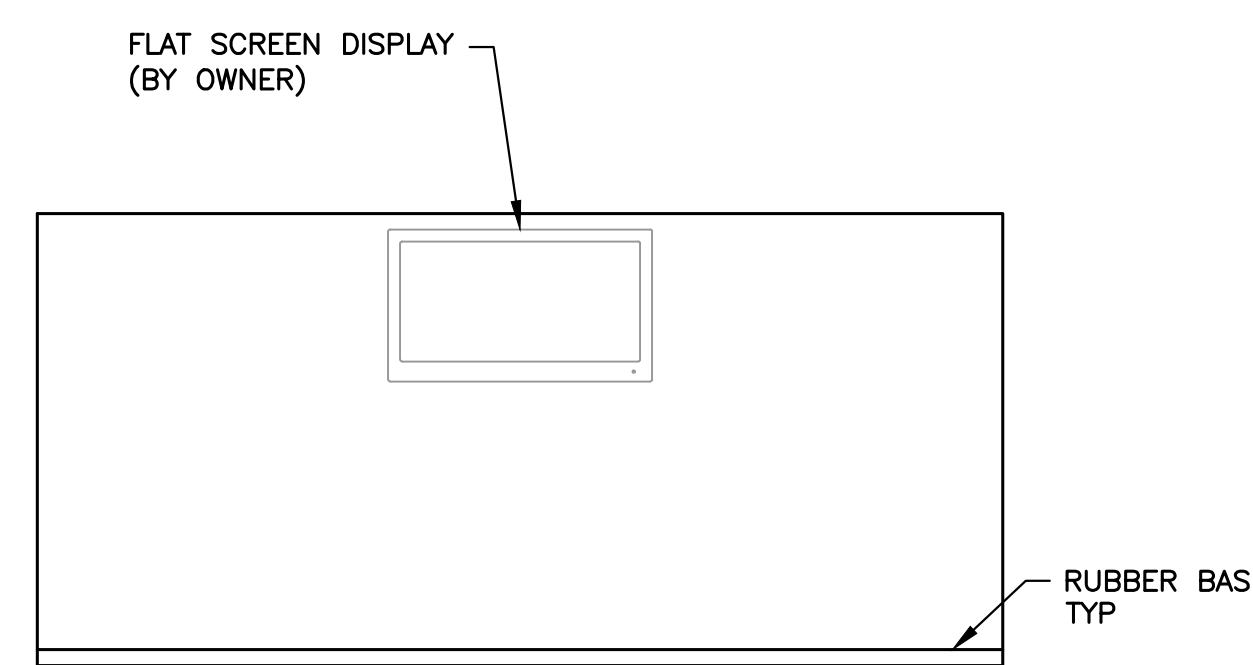
1 WEST  
A-11

2 NORTH  
A-11

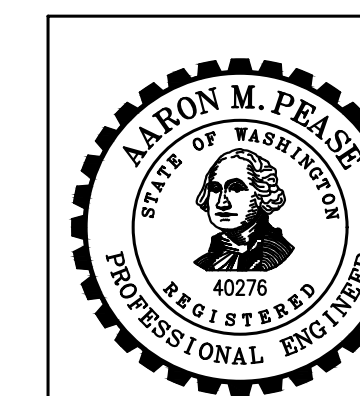
3 EAST  
A-11

4 SOUTH  
A-11

**INTERIOR ELEVATIONS  
NEW CONFERENCE 41**  
SCALE: 1/4"=1'-0"



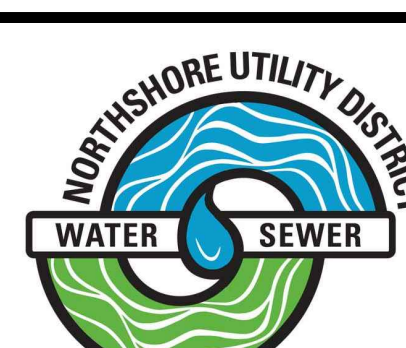
- NOTES:**
1. NOT ALL FURNISHINGS ARE SHOWN.
  2. THESE INTERIOR ELEVATIONS SHOW MAIN WALL FEATURES, BUT NOT ALL FEATURES, EQUIPMENT, DEVICES, OR EDGE CONDITIONS MAY BE SHOWN.



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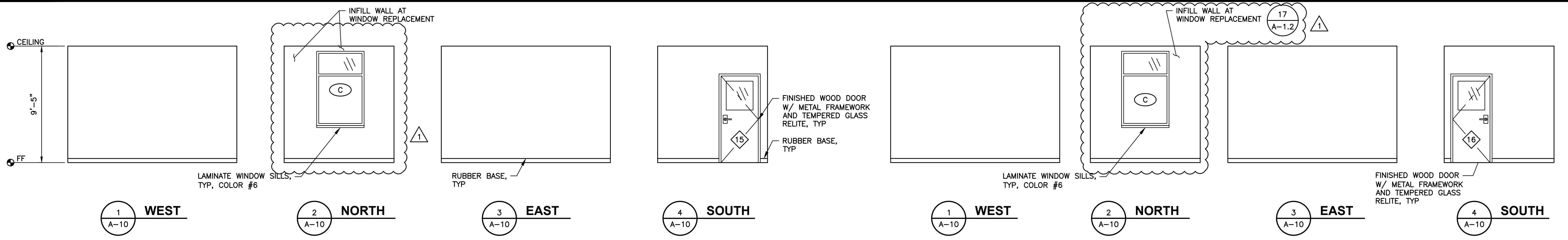


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CONTRACT 2023-01  
BUILDING "A" IMPROVEMENTS  
**INTERIOR ELEVATIONS 7**

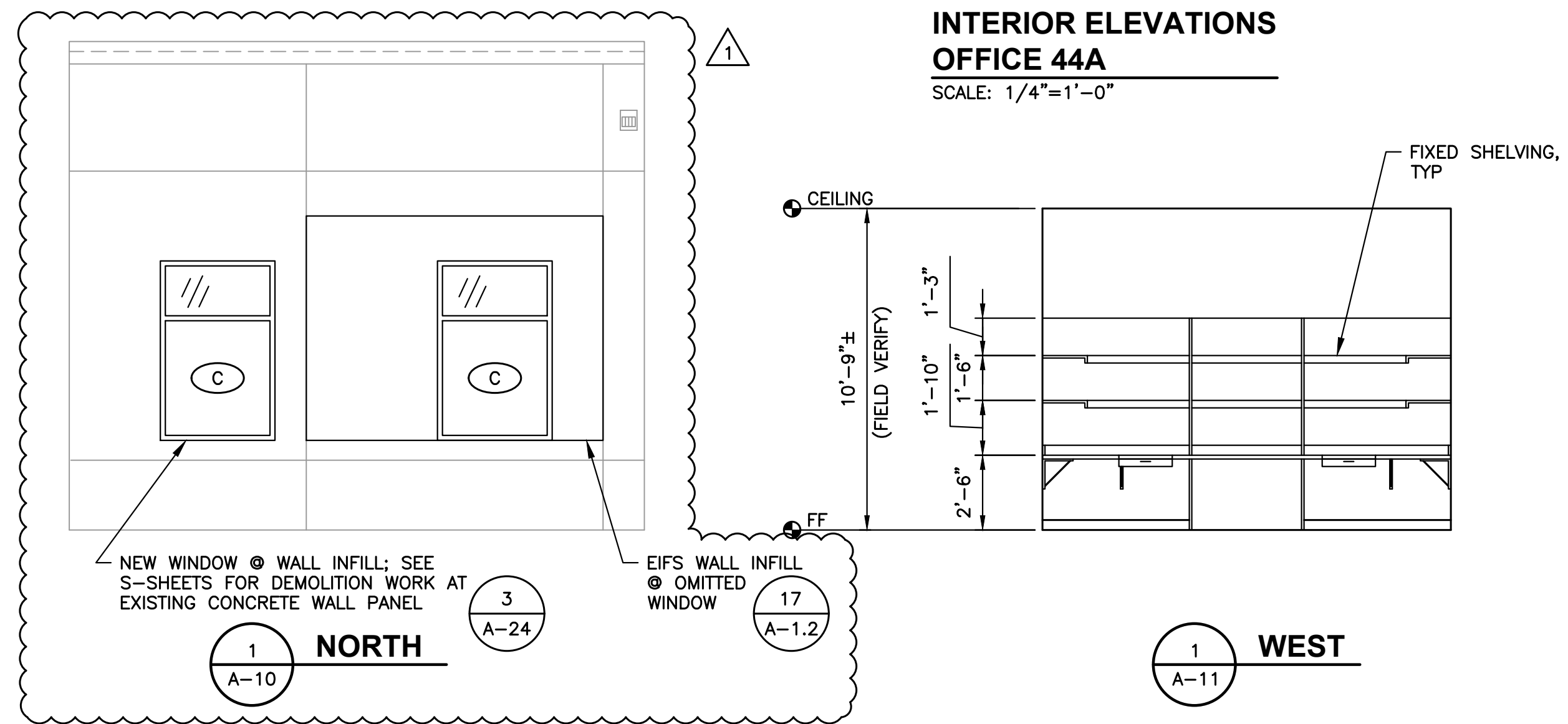
**SHEET**  
A-20  
OF 24





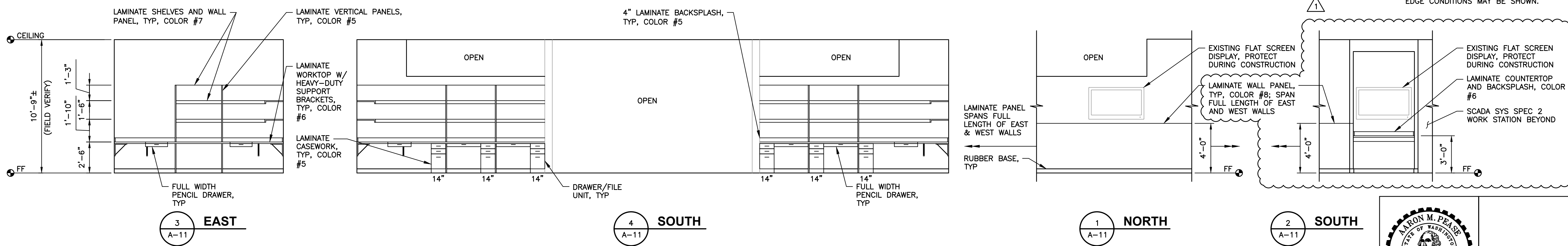
**INTERIOR ELEVATIONS OFFICE 44A**  
SCALE: 1/4"=1'-0"

**INTERIOR ELEVATIONS OFFICE 44B**  
SCALE: 1/4"=1'-0"



**EXTERIOR ELEVATION OFFICES 44A & 44B**  
SCALE: 1/4"=1'-0"

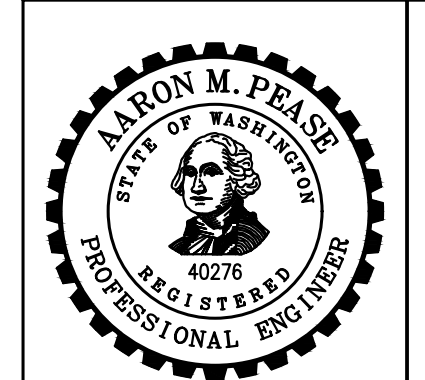
**INTERIOR ELEVATIONS OPERATIONS 45 (CONTINUED BELOW)**  
SCALE: 1/4"=1'-0"



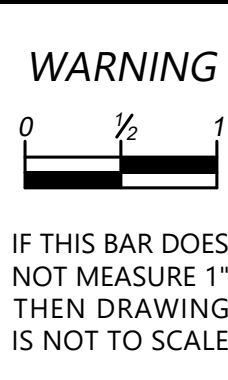
**INTERIOR ELEVATIONS OPERATIONS 45 (CONTINUED ABOVE)**  
SCALE: 1/4"=1'-0"

**INTERIOR ELEVATIONS OPERATIONS 45 (HALL)**  
SCALE: 1/4"=1'-0"

- NOTES:**
1. NOT ALL FURNISHINGS ARE SHOWN.
  2. THESE INTERIOR ELEVATIONS SHOW MAIN WALL FEATURES, BUT NOT ALL FEATURES, EQUIPMENT, DEVICES, OR EDGE CONDITIONS MAY BE SHOWN.



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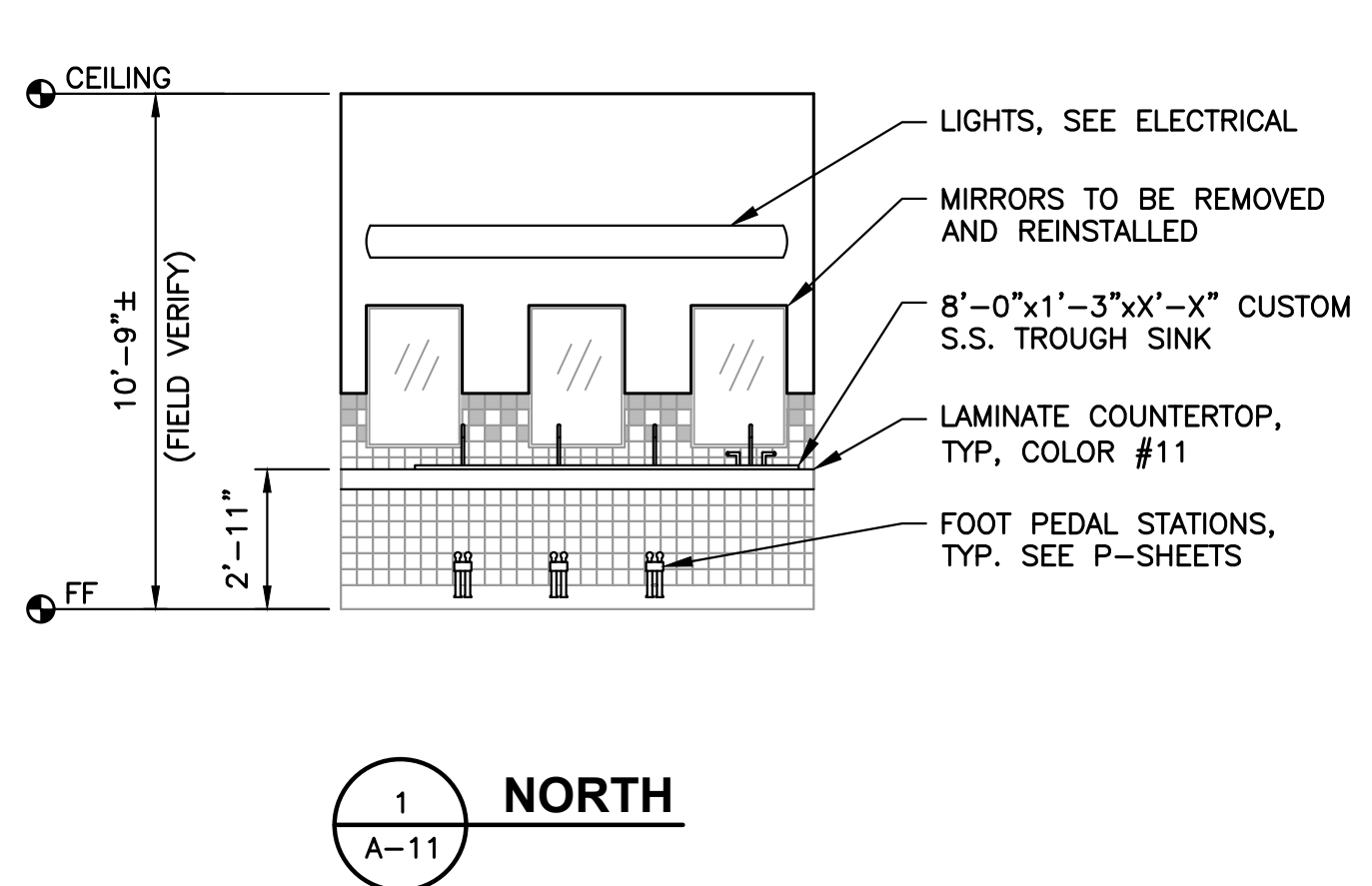
DESIGNED BY	ASD
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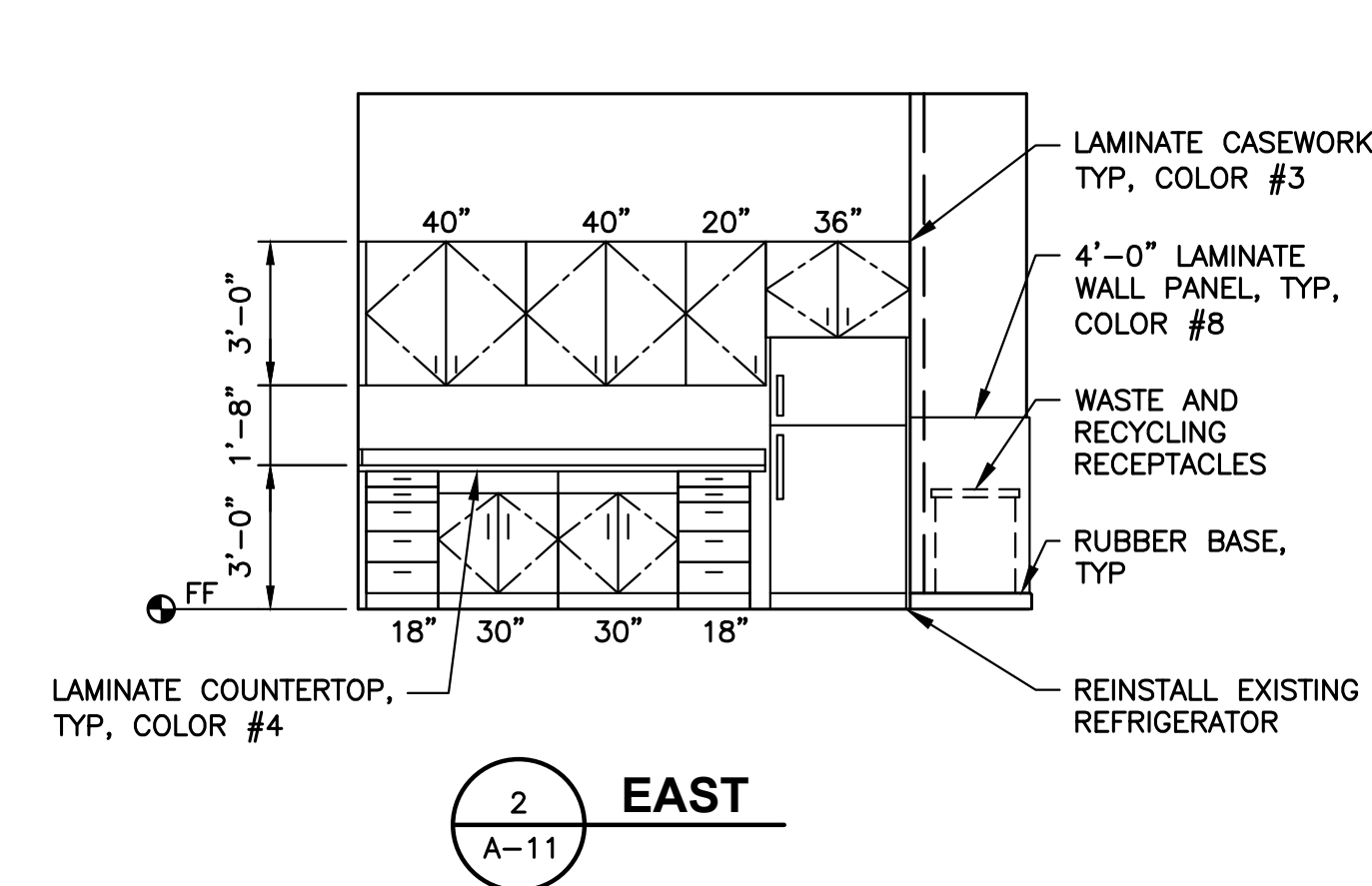
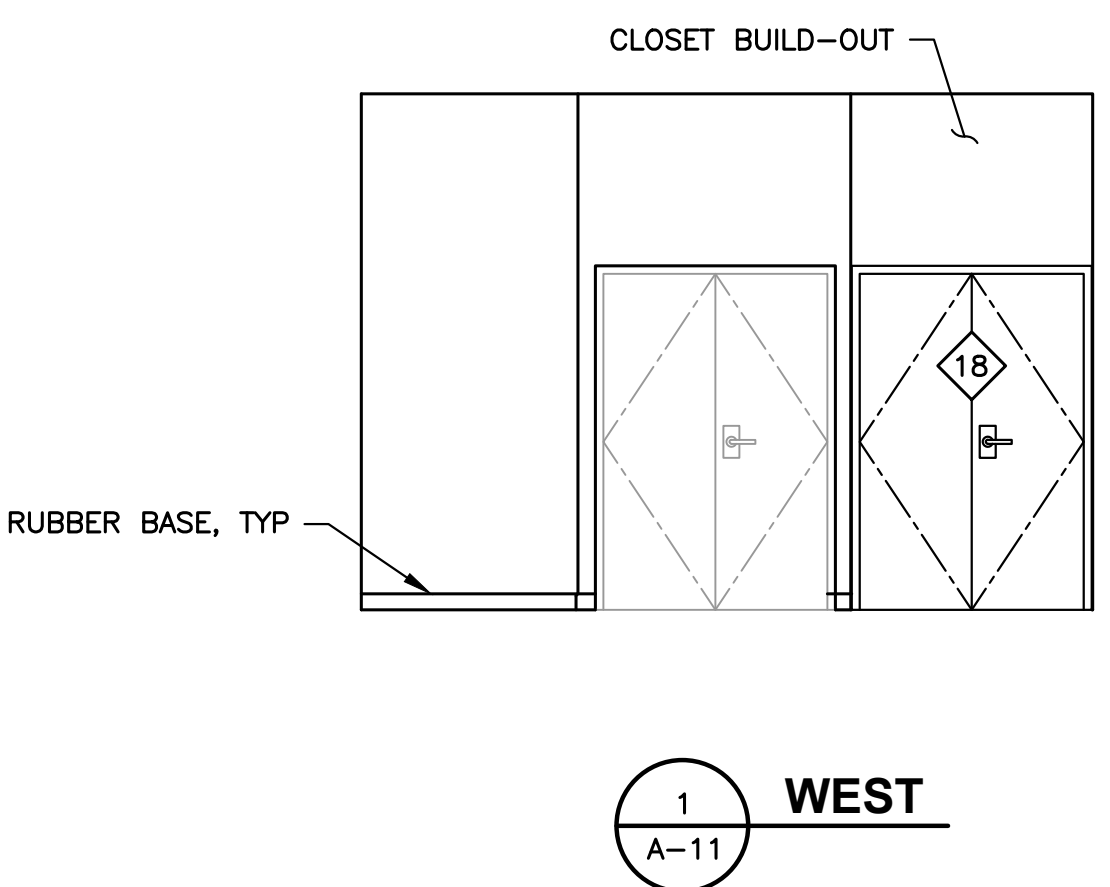
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CONTRACT 2023-01  
BUILDING "A" IMPROVEMENTS  
**INTERIOR ELEVATIONS 8**

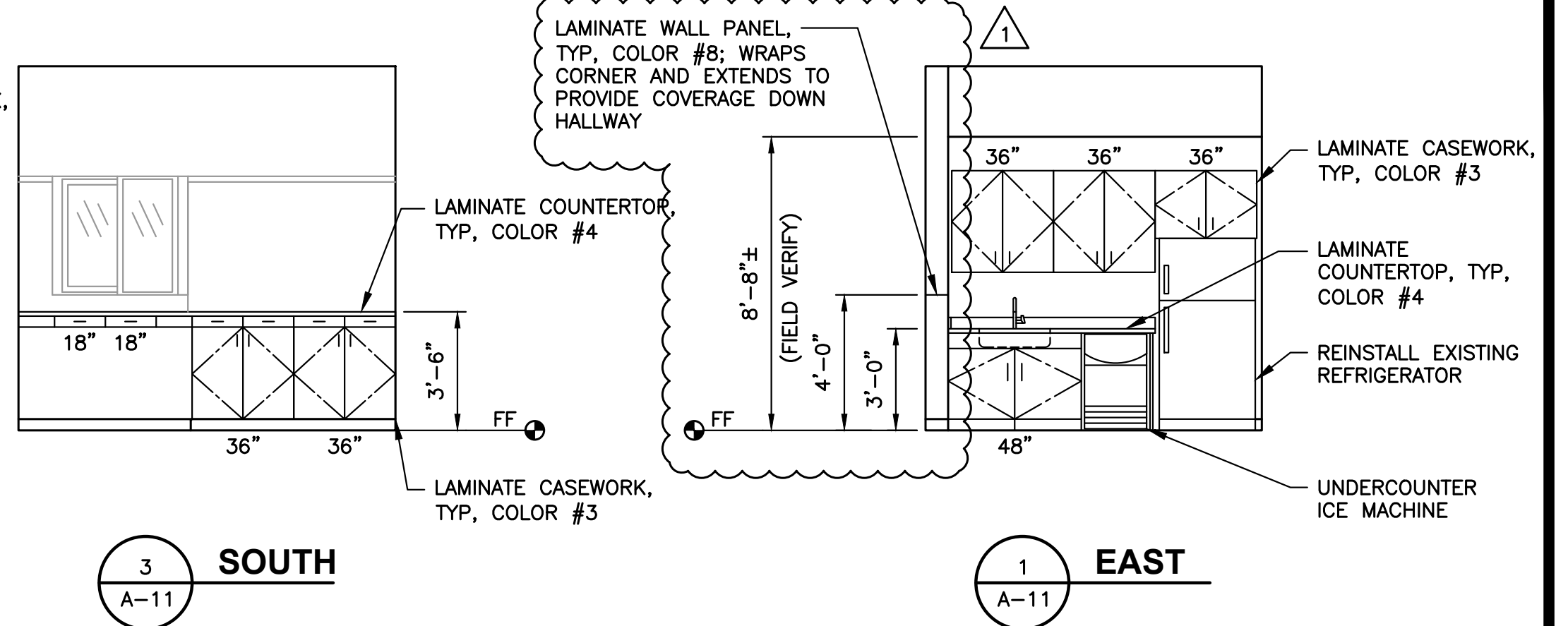
SHEET  
A-21  
OF 24



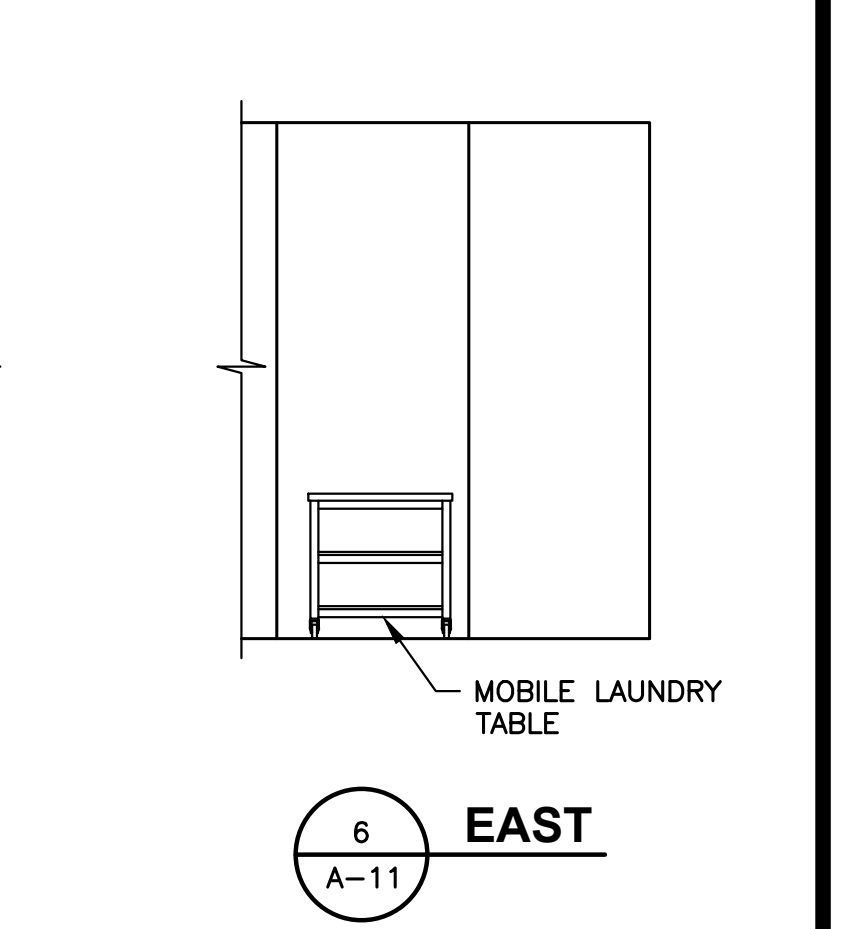
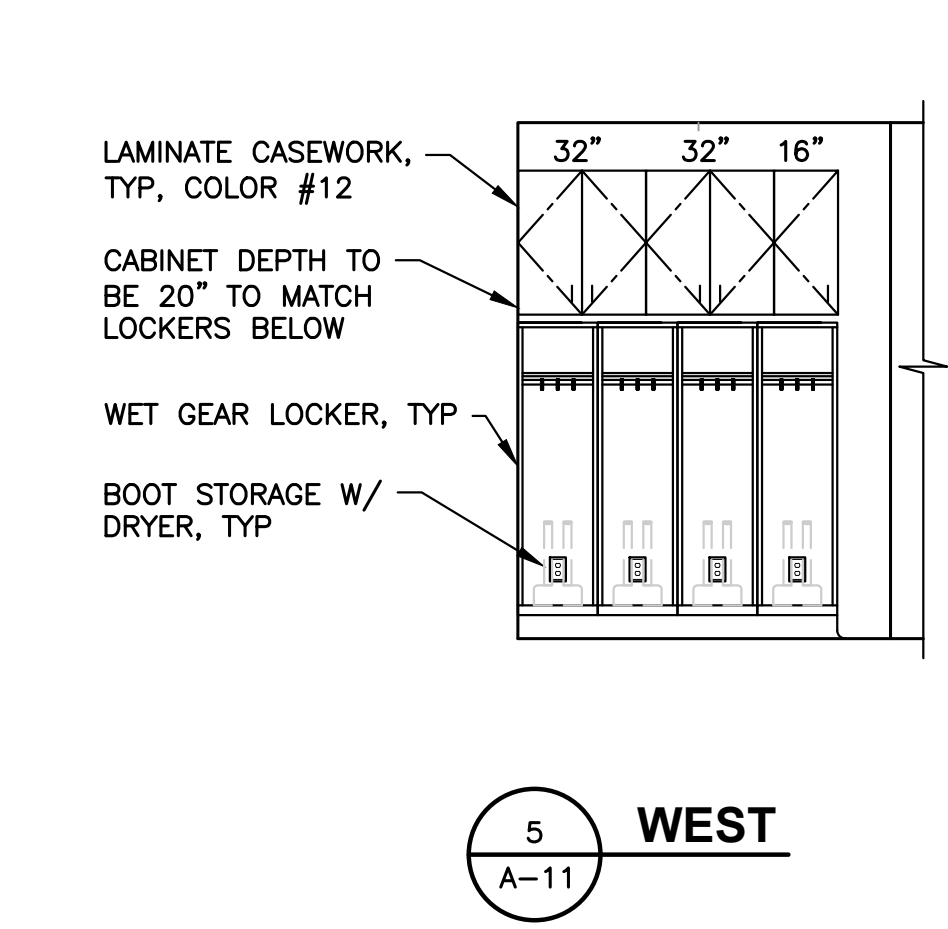
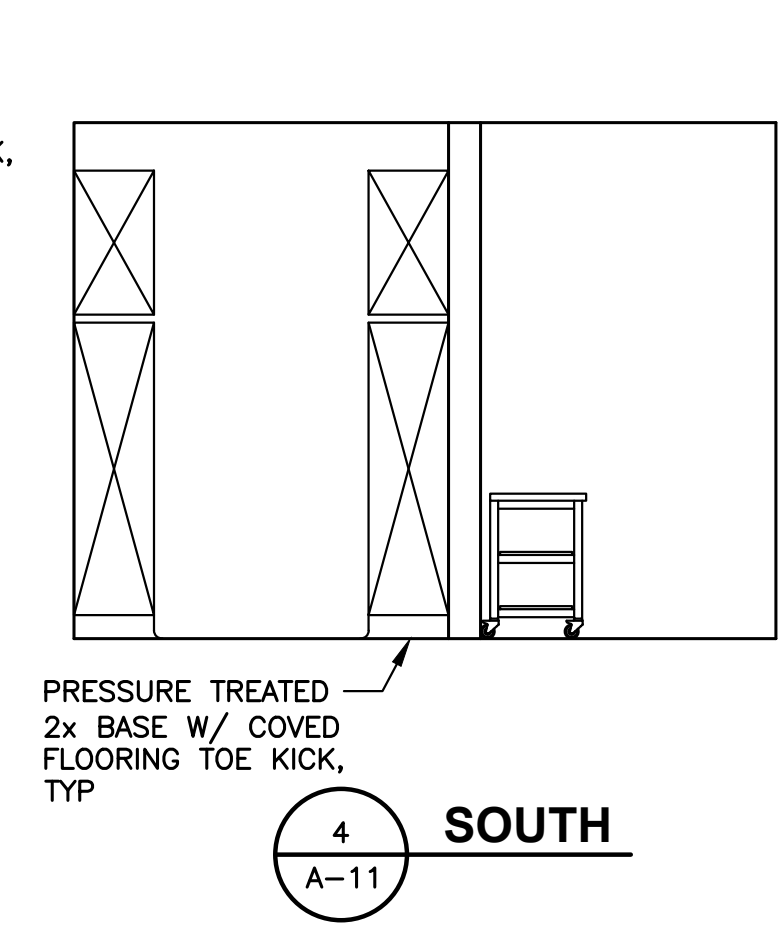
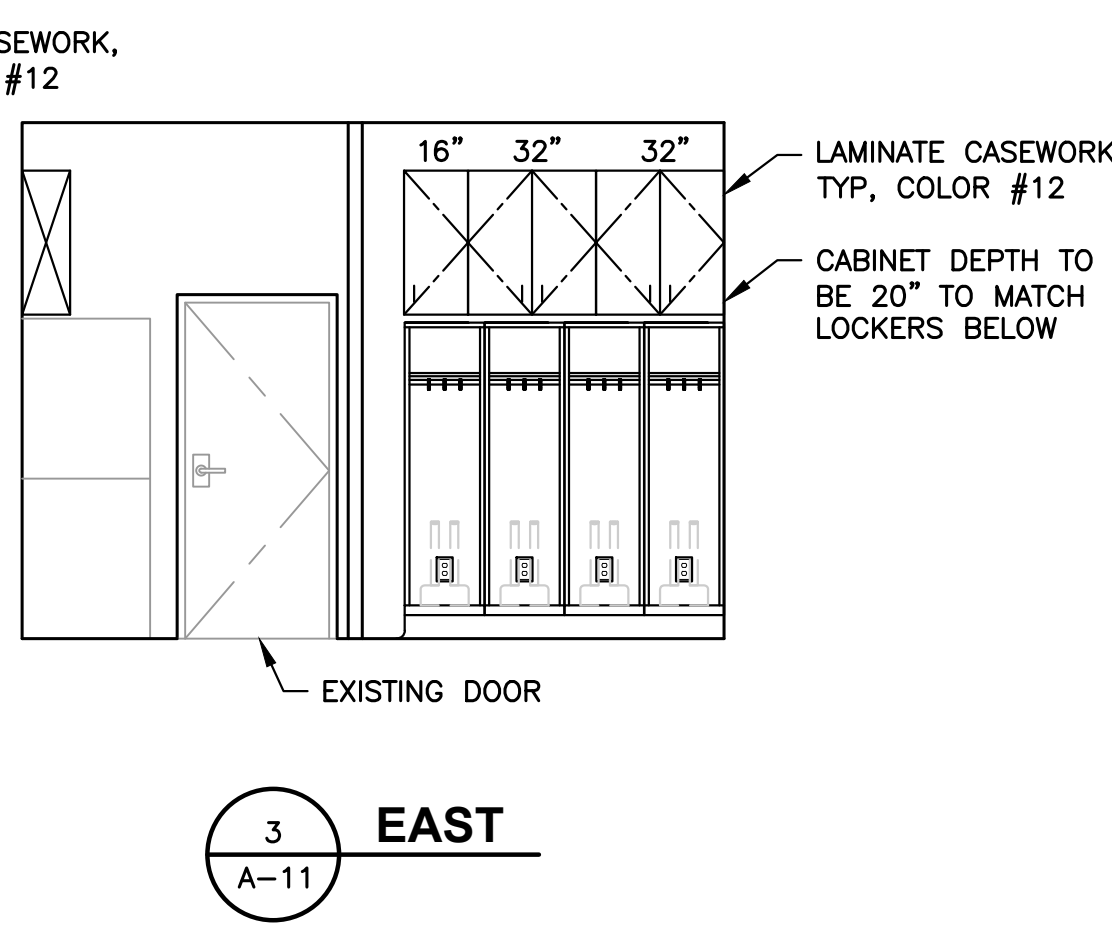
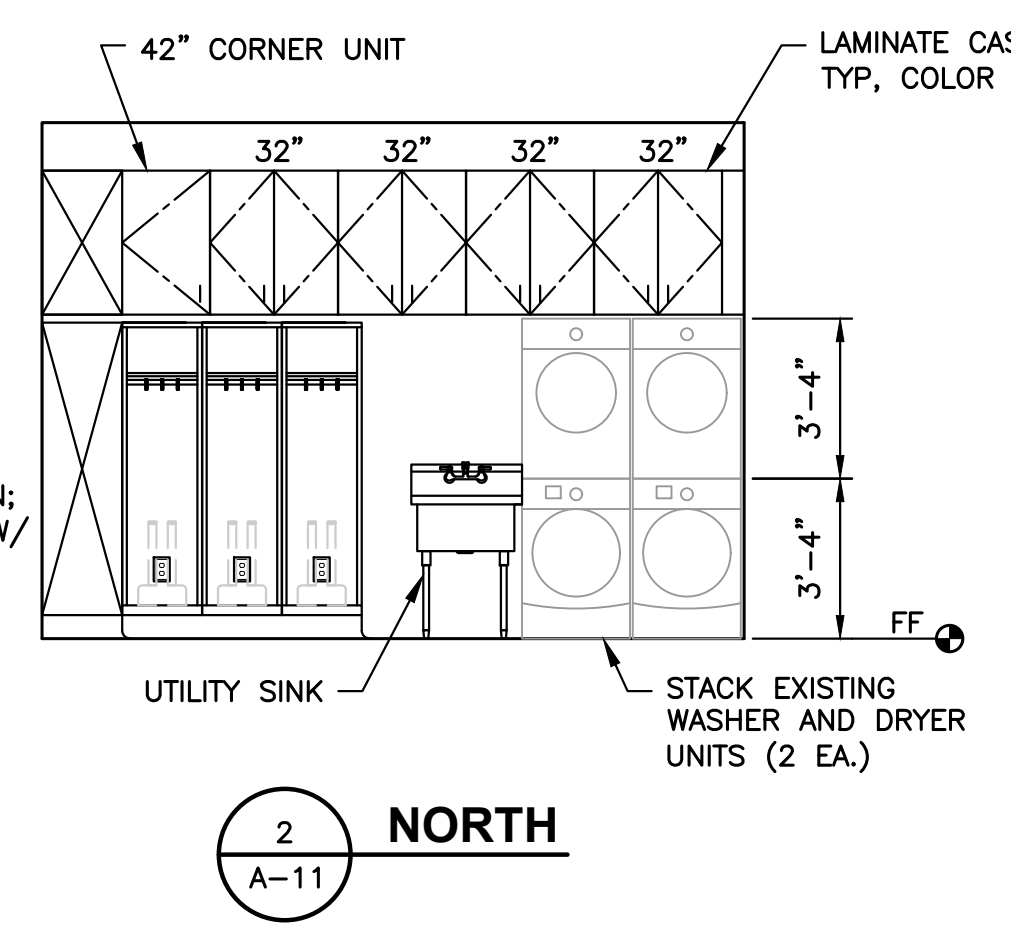
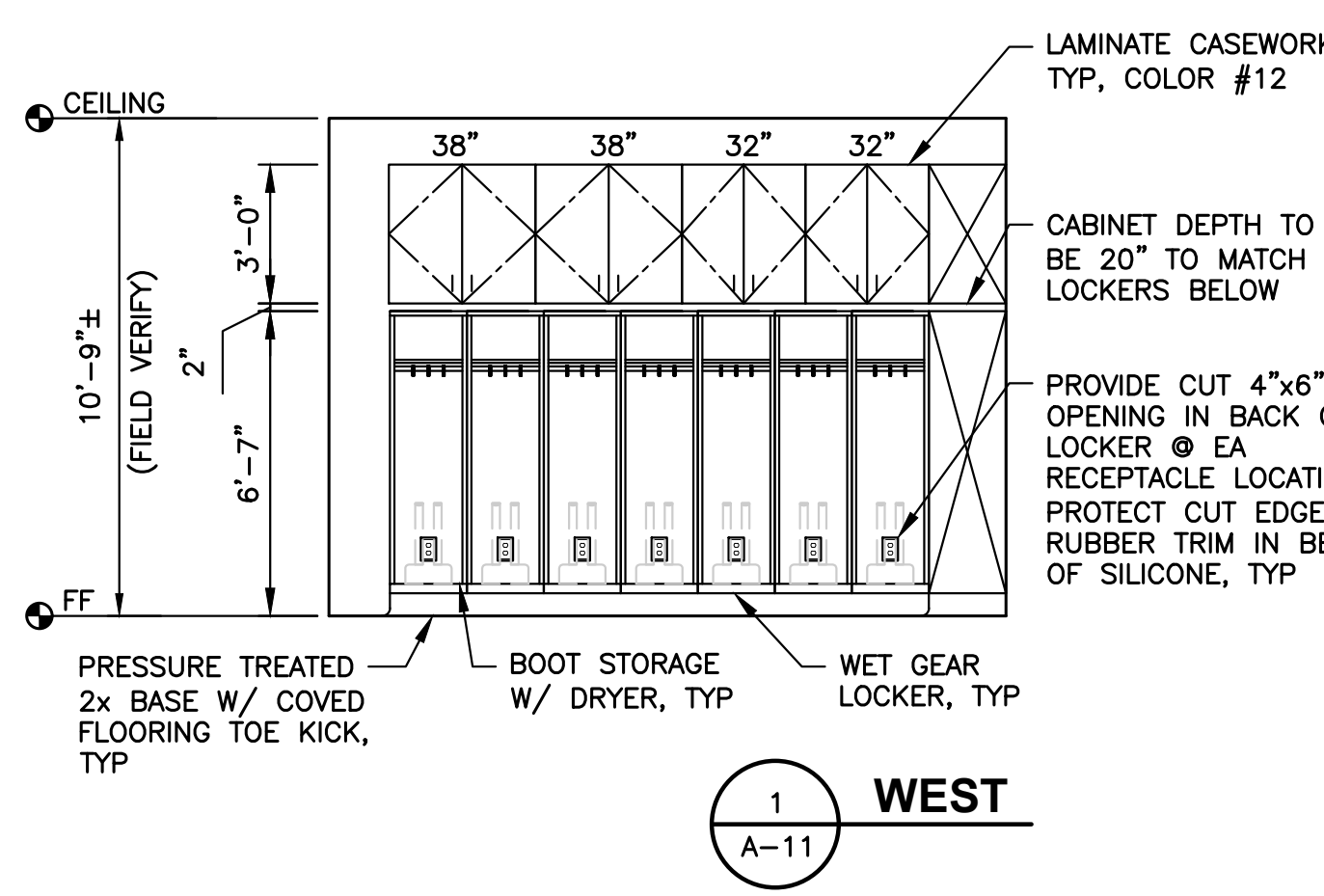
**INTERIOR ELEVATIONS  
MENS ROOM 49**  
SCALE: 1/4"=1'-0"



**INTERIOR ELEVATIONS  
FOYER 56**  
SCALE: 1/4"=1'-0"

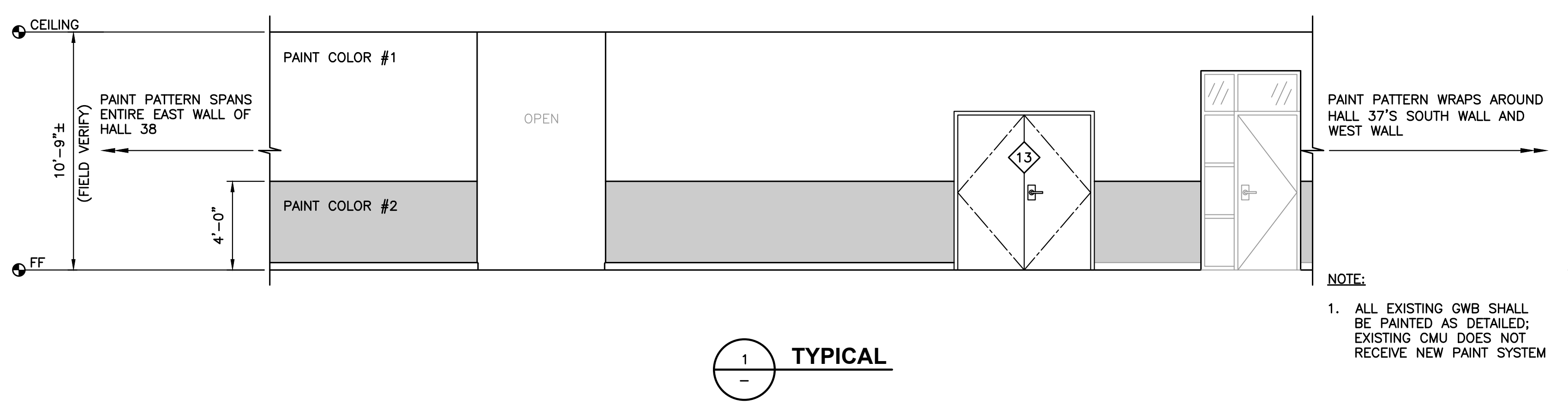


**INTERIOR ELEVATIONS  
HALL 58**  
SCALE: 1/4"=1'-0"

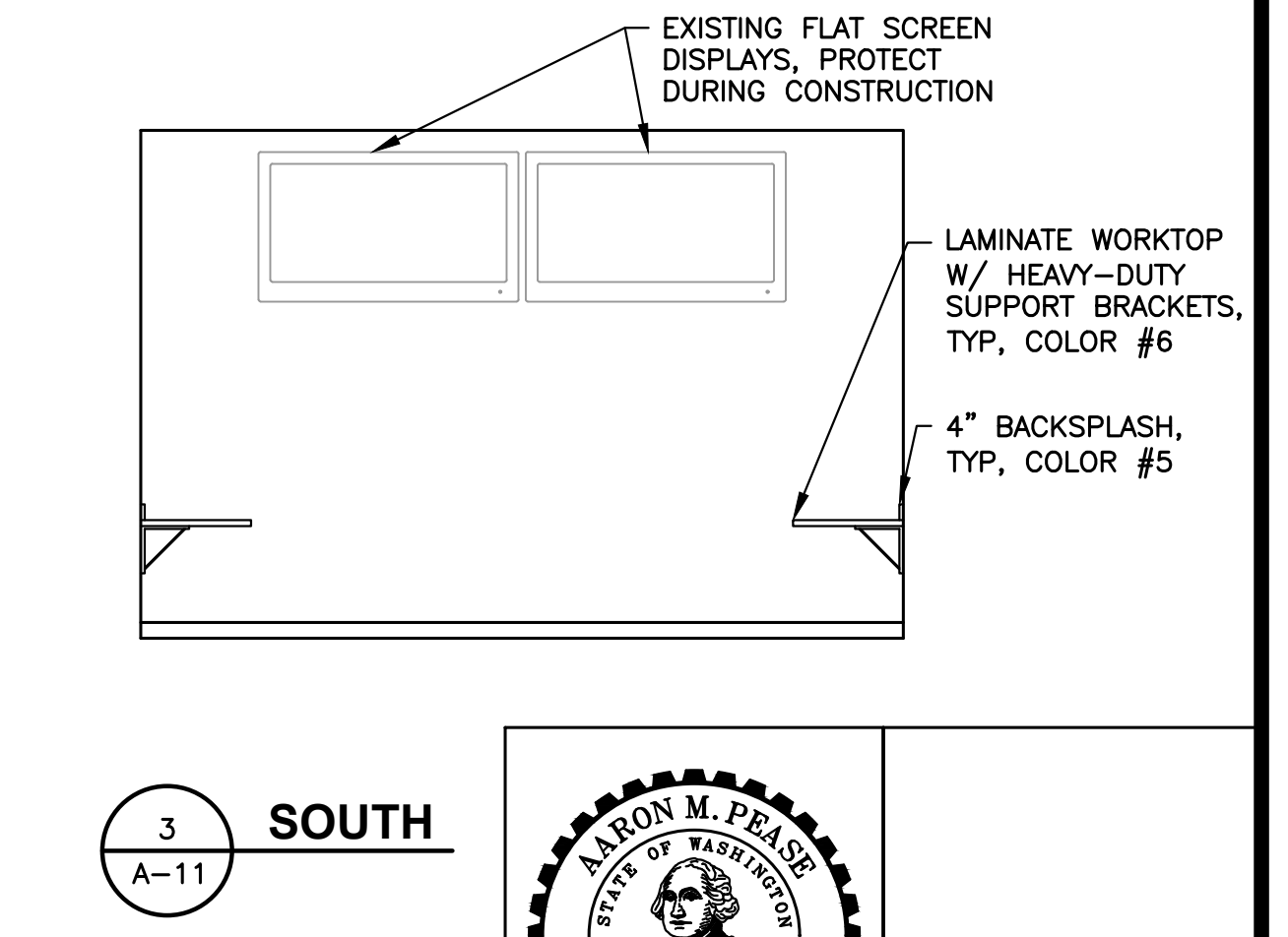
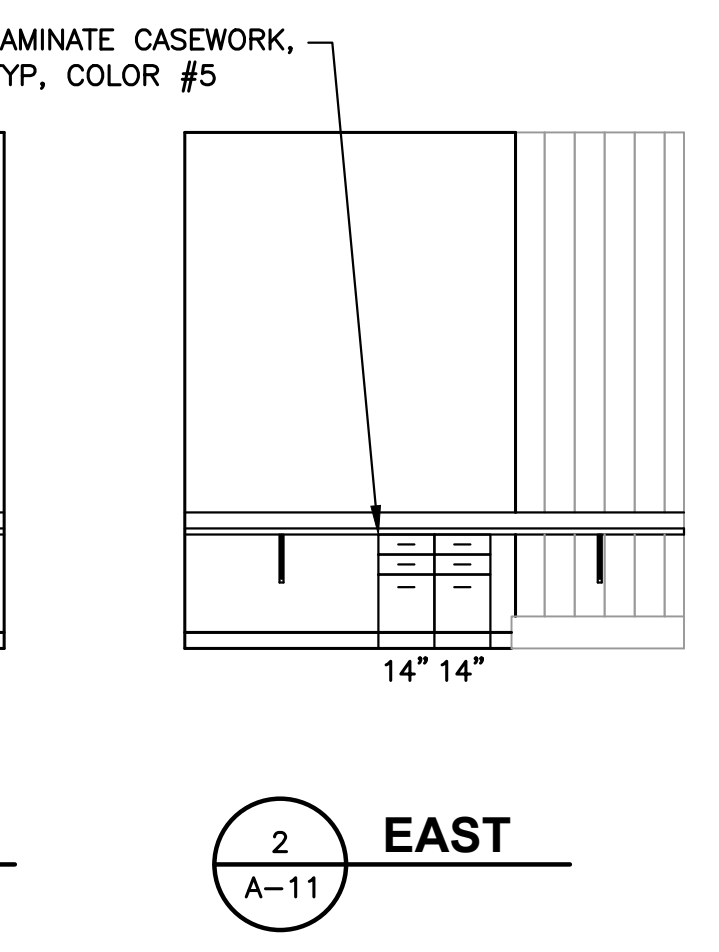
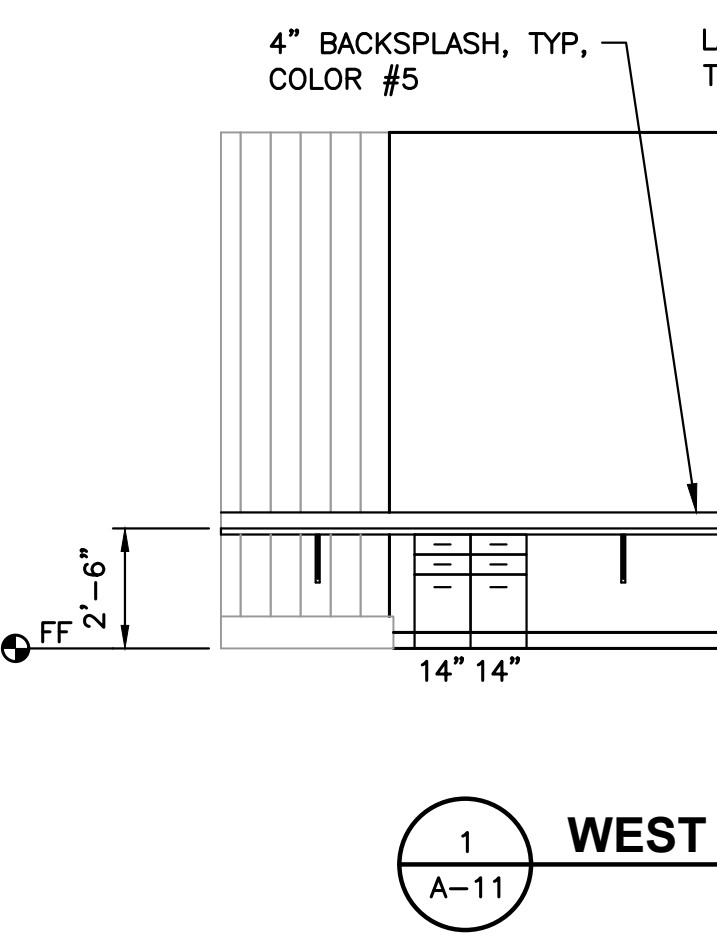


**INTERIOR ELEVATIONS  
LAUNDRY 59**  
SCALE: 1/4"=1'-0"

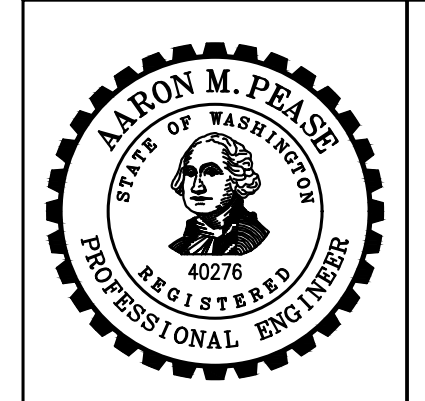
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**INTERIOR ELEVATIONS  
HALL 37 & HALL 38**  
SCALE: 1/4"=1'-0"



**INTERIOR ELEVATIONS  
OPERATIONS 35 AREA**  
SCALE: 1/4"=1'-0"



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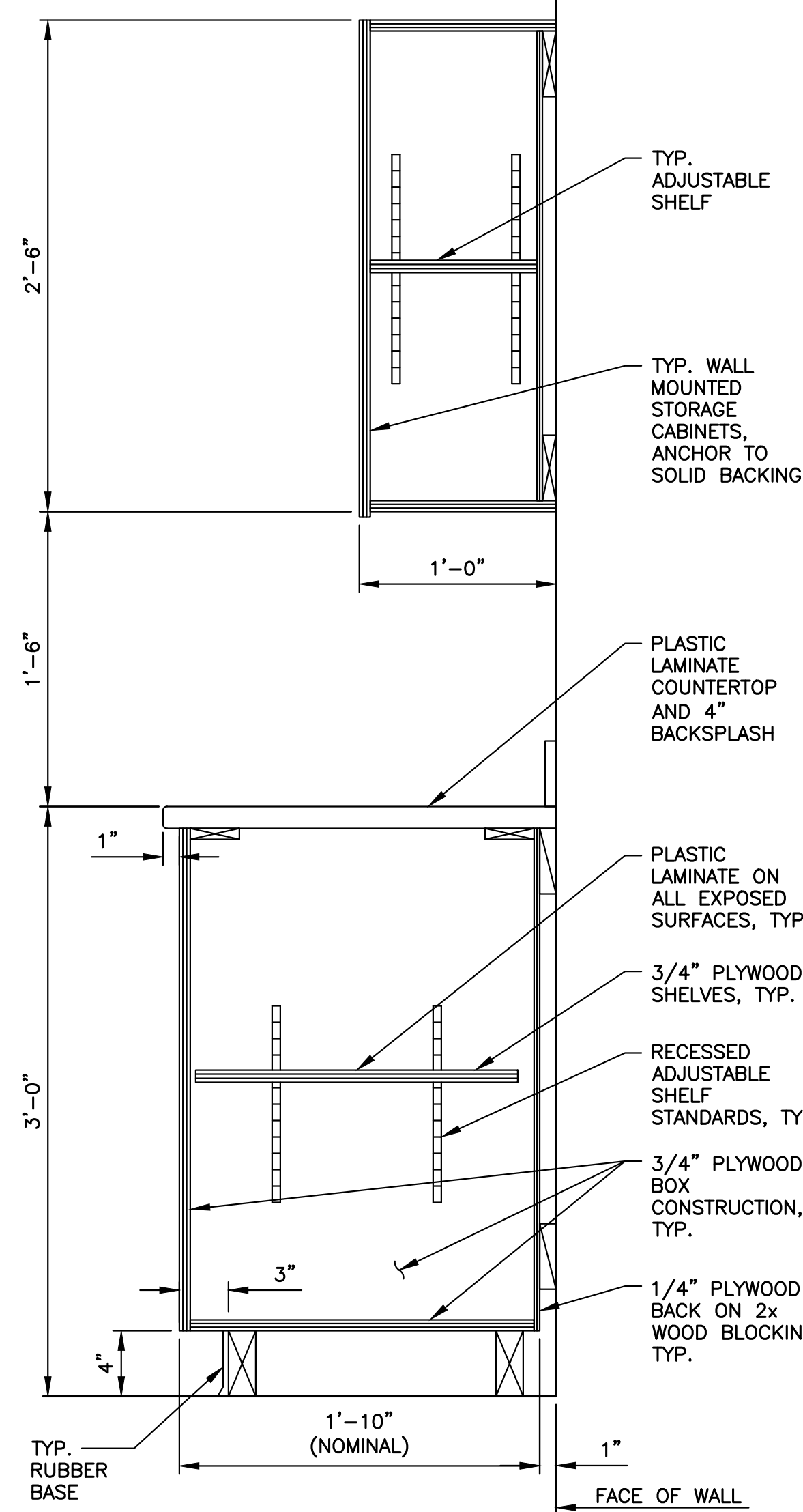
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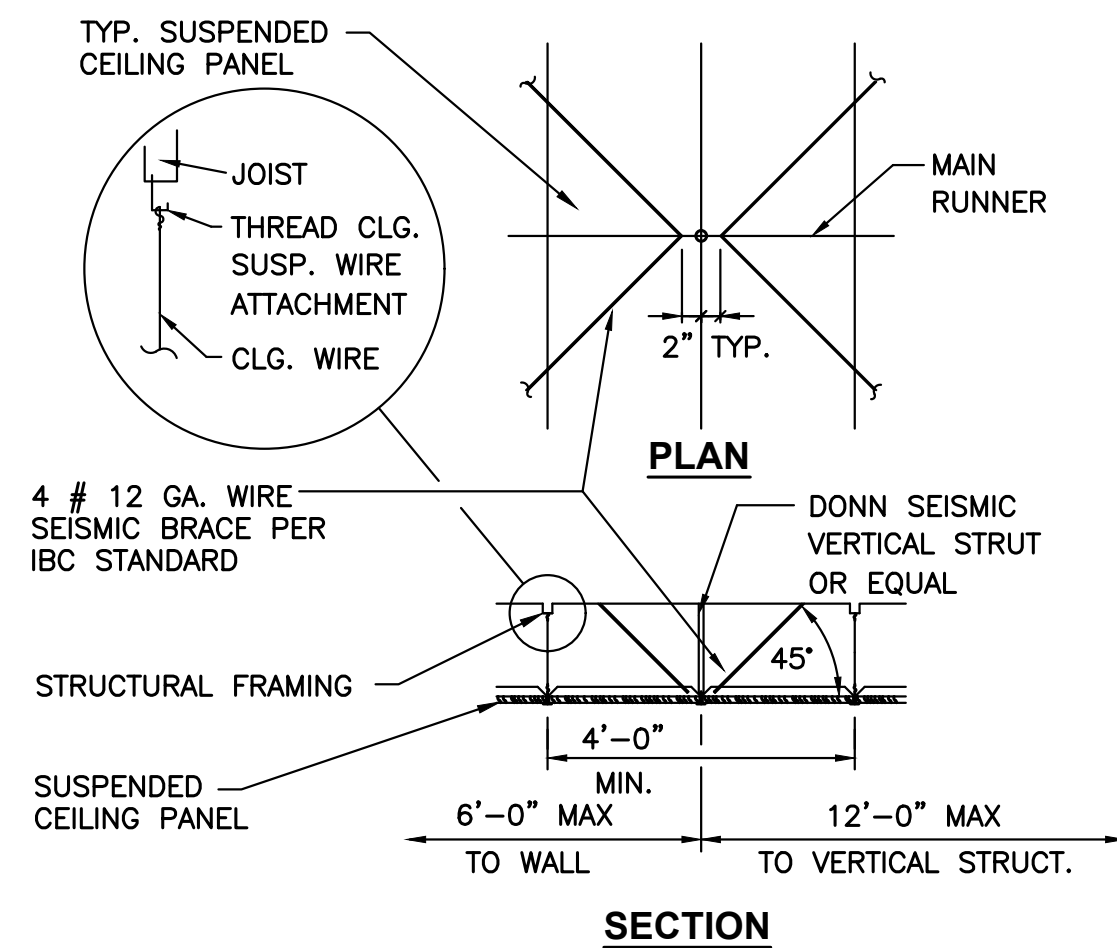
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BUILDING "A" IMPROVEMENTS  
**INTERIOR ELEVATIONS 10**

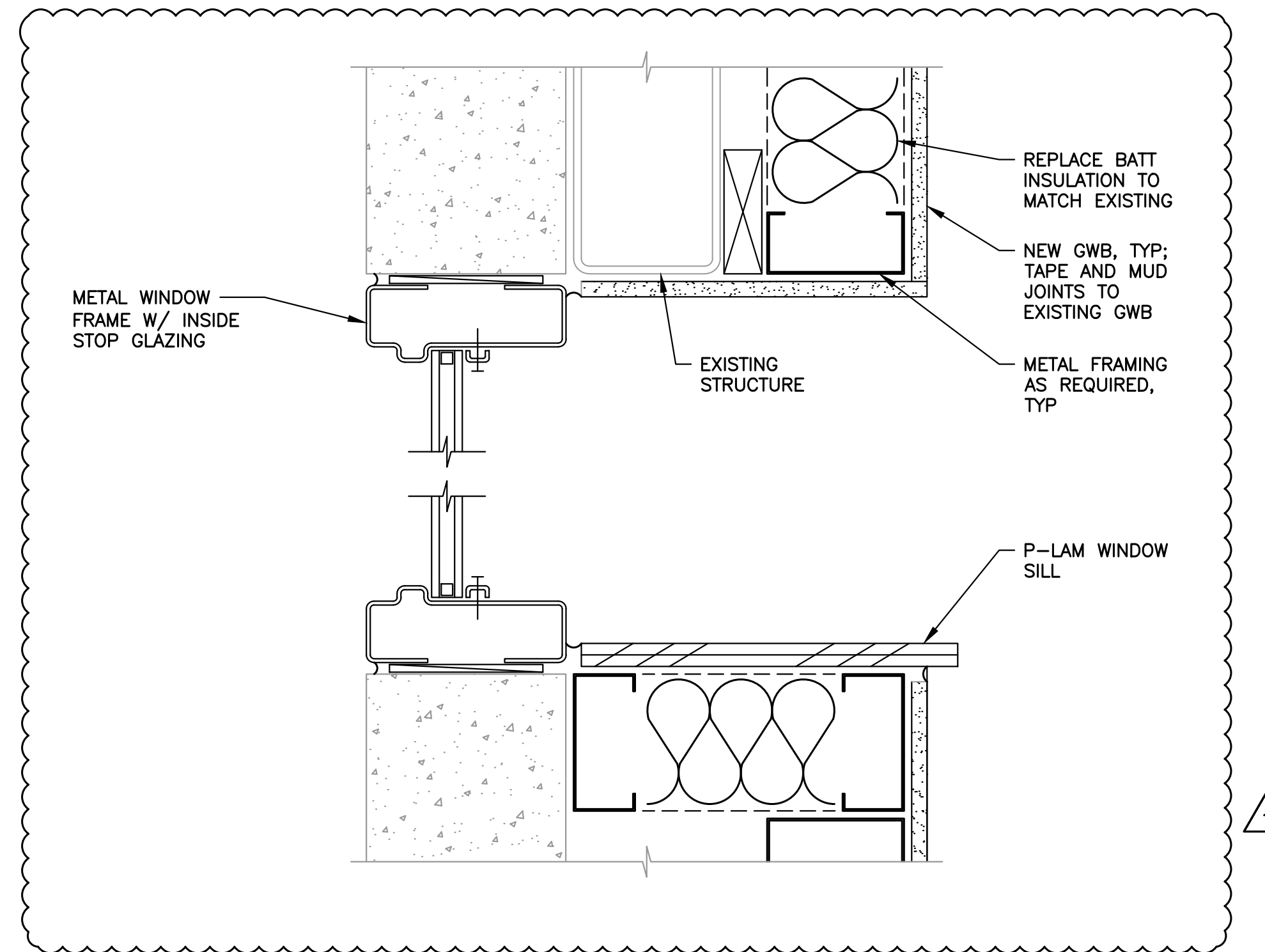
**SHEET**  
A-23  
OF 24



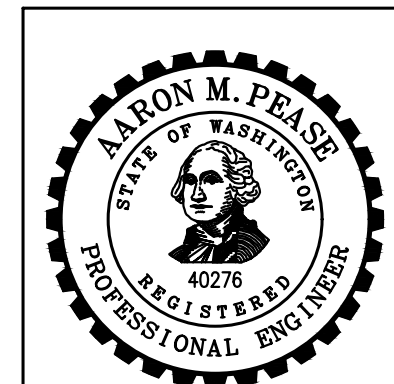
**1**  
TYP  
**LAMINATE FACE CASEWORK DETAIL**  
SCALE: 1-1/2"=1'-0"



**2**  
TYP  
**SCP BRACING DETAIL**  
SCALE: 3"=1'-0"



**3**  
A-21  
**WINDOW HEAD/SILL DETAIL**  
SCALE: 3"=1'-0"



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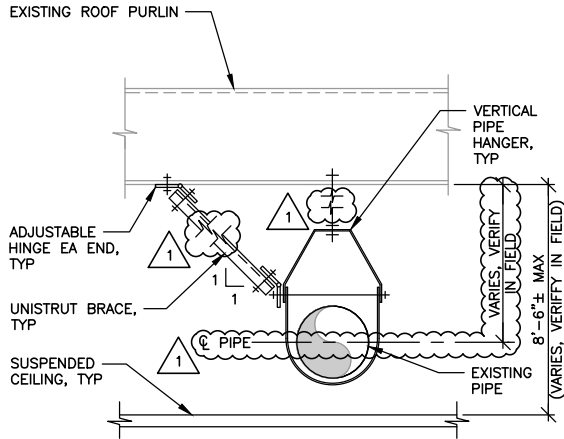


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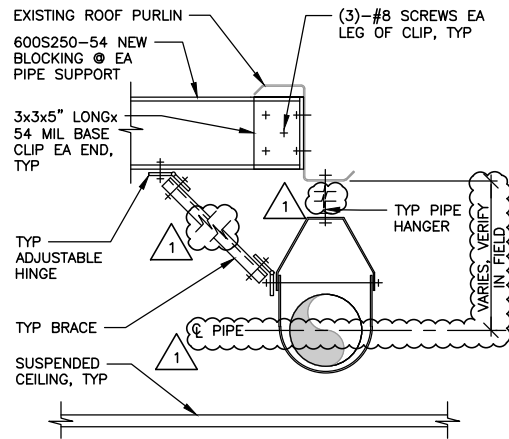
CONTRACT 2023-01  
BUILDING "A" IMPROVEMENTS  
**ARCHITECTURAL CASEWORK DETAILS**

SHEET

A-24  
OF 24



**CONDITION NO. 1**



**CONDITION NO. 2**

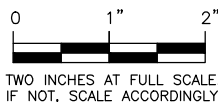
**NOTES:**

1. SEISMIC BRACING SHALL BE DESIGNED AND INSTALLED ALONG THE FULL LENGTH OF NATURAL GAS PIPING AND FIRE SUPPRESSION PIPING WITHIN THE BUILDING.
2. SPACE PIPE SUPPORTS A MAXIMUM OF 12'-0" OC AND AT ALL PIPE BENDS.
3. PIPE SUPPORTS SHALL COMPLY WITH IBC 2018 REQUIREMENTS.
4. SEISMIC BRACING SHALL BE DESIGNED BY THE INSTALLER FOR THE FOLLOWING PARAMETERS:
  - Sds=0.756 g
  - Ip=1.0 FOR FIRE SUPPRESSION PIPING
  - Ip=1.5 FOR NATURAL GAS PIPING
5. SUBMIT PIPE SUPPORT CALCULATIONS AND DRAWINGS THAT HAVE BEEN STAMPED AND SIGNED BY A PROFESSIONAL CIVIL ENGINEER LICENSED BY THE STATE OF WASHINGTON FOR REVIEW.
6. CONTRACTOR SHALL VERIFY EXISTING DIMENSIONS AND CONDITIONS PRIOR TO STARTING THE WORK.



**TYPICAL SEISMIC PIPE SUPPORT**

NTS

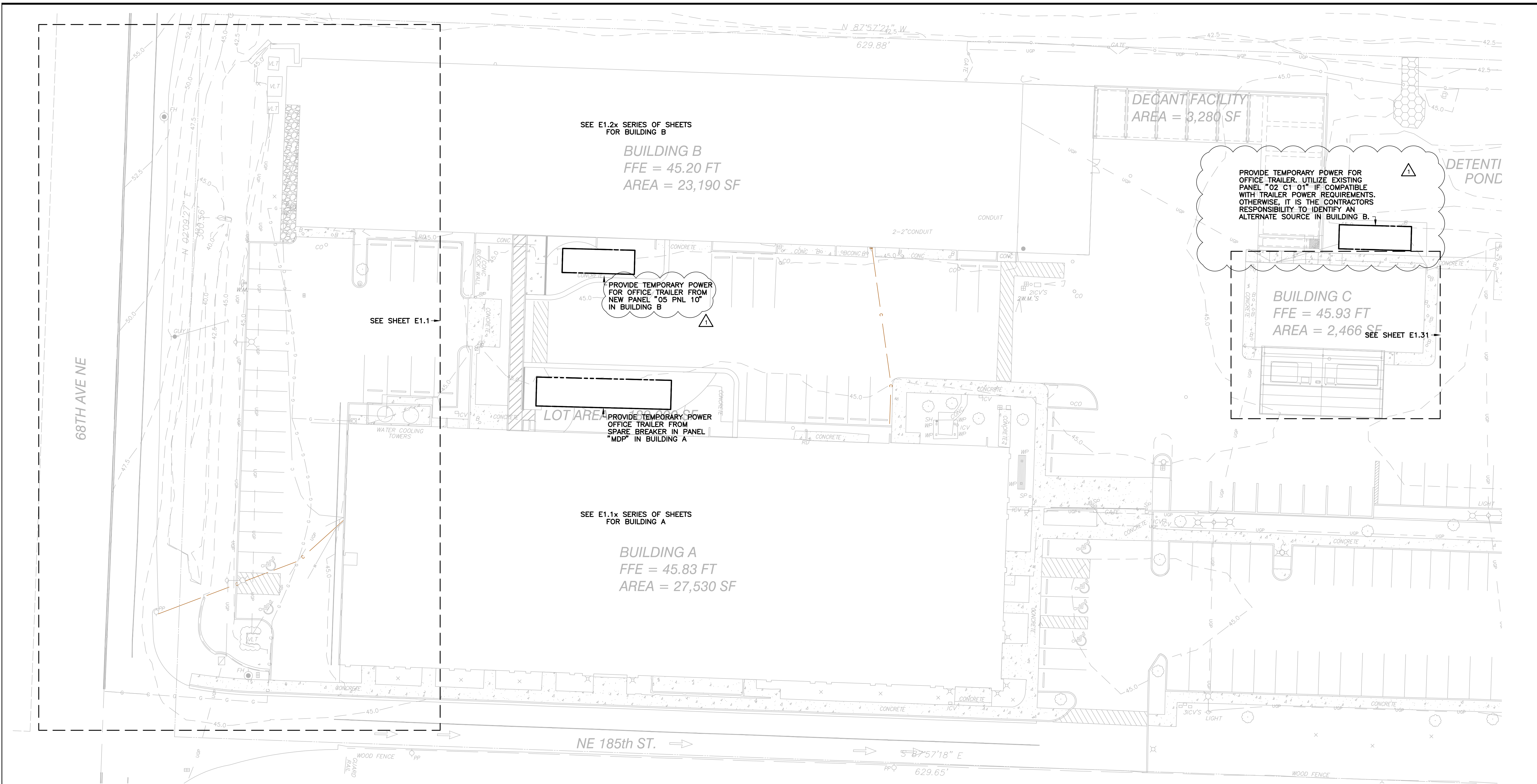


**NORTHSHORE UTILITY DISTRICT**  
 BUILDING "A" IMPROVEMENTS  
 SCHEDULE B

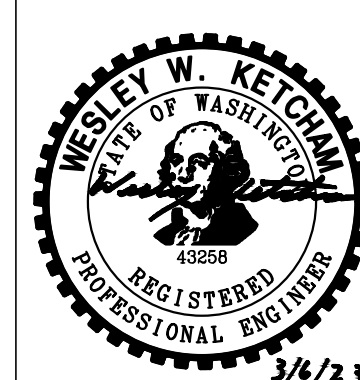
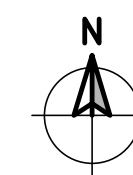
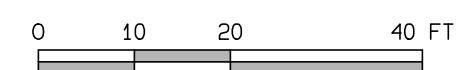
**REVISION TO TYPICAL SEISMIC  
 PIPE SUPPORT DETAIL**



**Gray & Osborne, Inc.**  
 CONSULTING ENGINEERS



**ELECTRICAL SITE PLAN**  
SCALE: 1" = 20'-0"

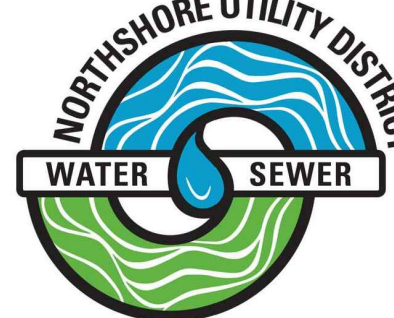


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△	WWK	WWK	ADDENDUM 2	MAR 2023

**WARNING**  
IF THIS BAR DOES NOT MEASURE 1" THEN DRAWING IS NOT TO SCALE



DESIGNED BY	WWK
DRAWN BY	DYA
CHECKED BY	WWK
APPROVAL	WWK
DATE	MAR. 2023



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CONTRACT 2021-03  
BUILDING A IMPROVEMENTS  
**ELECTRICAL SITE PLAN**

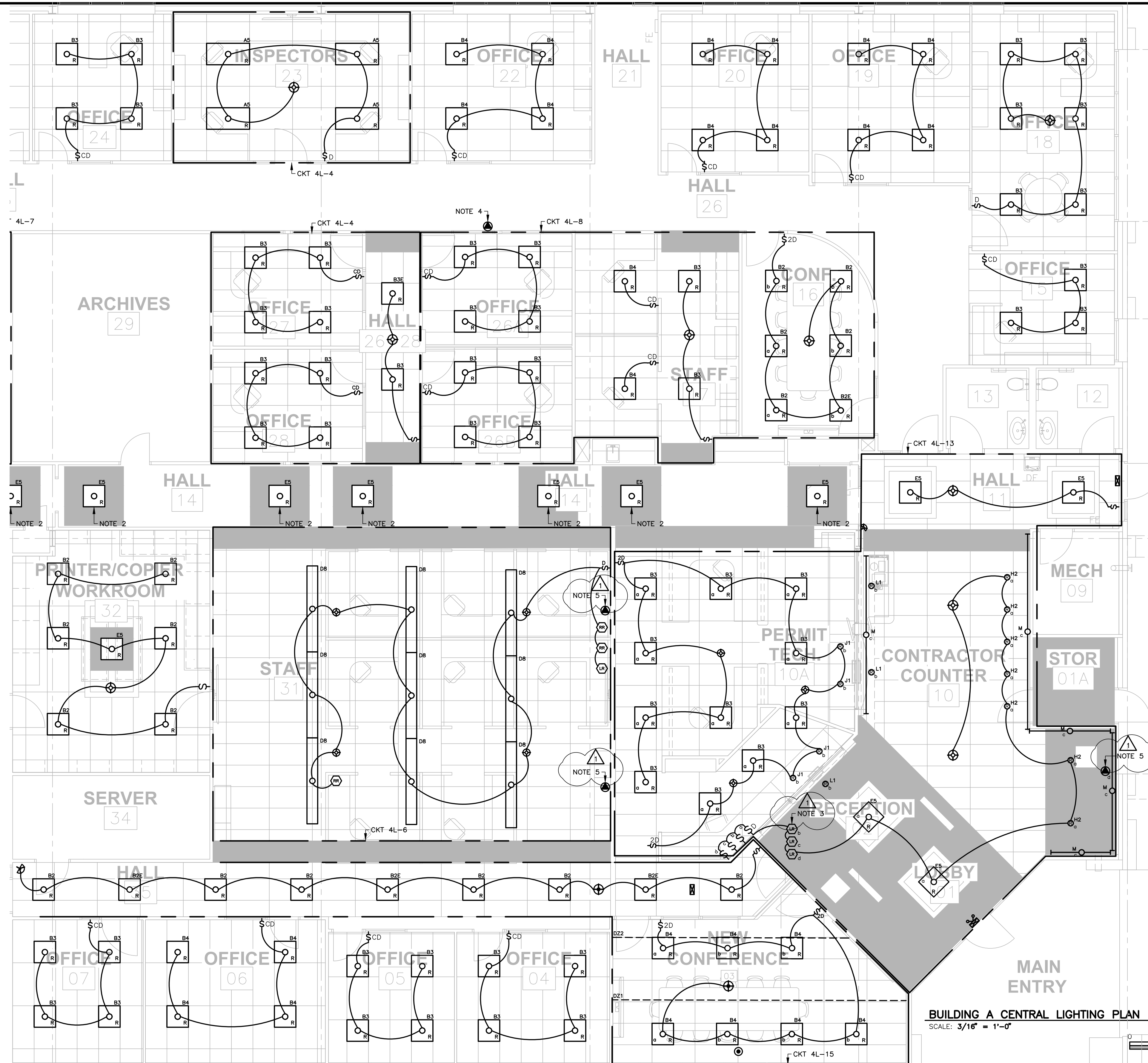
SHEET  
E-1.0  
OF 27

GENERAL NOTES:

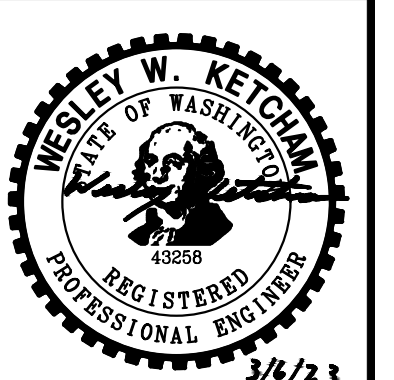
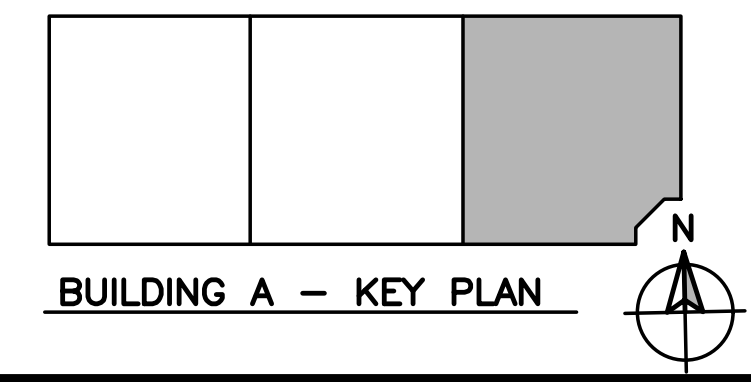
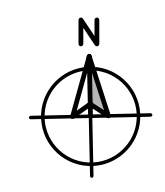
- A. LIGHTING CONTROLS BASED ON GE ACUITY CONTROLS nLIGHT SYSTEM. REFER TO LIGHTING CONTROL SCHEDULE ON SHEET E-6.5 FOR LIGHTING CONTROL DEVICE PART NUMBERS.
- B. PROVIDE UNSWITCHED LINE VOLTAGE POWER TO EACH nLIGHT ENABLED FIXTURE FROM BRANCH CIRCUIT INDICATED ON THIS SHEET. LIGHTING CONTROL DEVICES INTERCONNECT TO nLIGHT ENABLED FIXTURES VIA LOW VOLTAGE PATCH CABLES (SEE NOTE 1 BELOW).
- C. UTILIZE THE EXISTING ROOM LIGHTING BRANCH CIRCUITS FOR NEW LIGHT FIXTURES. EXISTING LIGHTING BRANCH CIRCUITS, WHERE IDENTIFIED, ARE BASED ON AVAILABLE RECORD DRAWING AND HAVE NOT BEEN FIELD VERIFIED. THE CONTRACTOR SHALL FIELD VERIFY LIGHTING BRANCH CIRCUITS IN ALL AREAS WITH LIGHTING REVISIONS IN THE PROJECT. THE CONTRACTOR SHALL NOTIFY THE OWNER/ENGINEER WHERE EXISTING CIRCUITS ARE INCOMPATIBLE WITH THE DESIGN INTENT DEPICTED ON THIS SHEET AND SHEET E-6.5 PRIOR TO BEGINNING INSTALLATION.

NOTES:

- 1. PROVIDE CAT5e PATCH CABLES BETWEEN LIGHTING CONTROL DEVICES AND nLIGHT ENABLED LIGHT FIXTURES AS SHOWN. PATCH CABLES SHALL BE WHITE IN COLOR TO DIFFERENTIATE LIGHTING CONTROL CABLING FROM HORIZONTAL TELECOMMUNICATIONS CABLING ABOVE GRID CEILING.
- 2. CONNECT NEW FIXTURE TO EXISTING SWITCHED HALLWAY LIGHTING CIRCUIT.
- 3. SEE WIRING DIAGRAM 2/E-6.5 FOR CIRCUIT CONNECTIONS TO NON-nLIGHT ENABLED FIXTURE IN LOBBY/CONTRACTOR COUNTER AREA.
- 4. CONNECT ART RAIL LIGHTING TO EXISTING SWITCHED HALLWAY LIGHTING CIRCUIT.
- 5. PROVIDE LIGHTING CONTROL SWITCHED POWER TO ART RAIL LIGHTING. SEE WIRING DIAGRAM 2/E-6.5.



BUILDING A CENTRAL LIGHTING PLAN  
SCALE: 3/16" = 1'-0"



NO	BY	APPD	REVISION	DATE
1	WWK	WWK	ADDENDUM 2	MAR 2023

**WARNING**  
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**Gray & Osborne, Inc.**  
CONSULTING ENGINEERS

DESIGNED BY: WWK  
DRAWN BY: DYA  
CHECKED BY: WWK  
APPROVAL: WWK  
DATE: MAR. 2023

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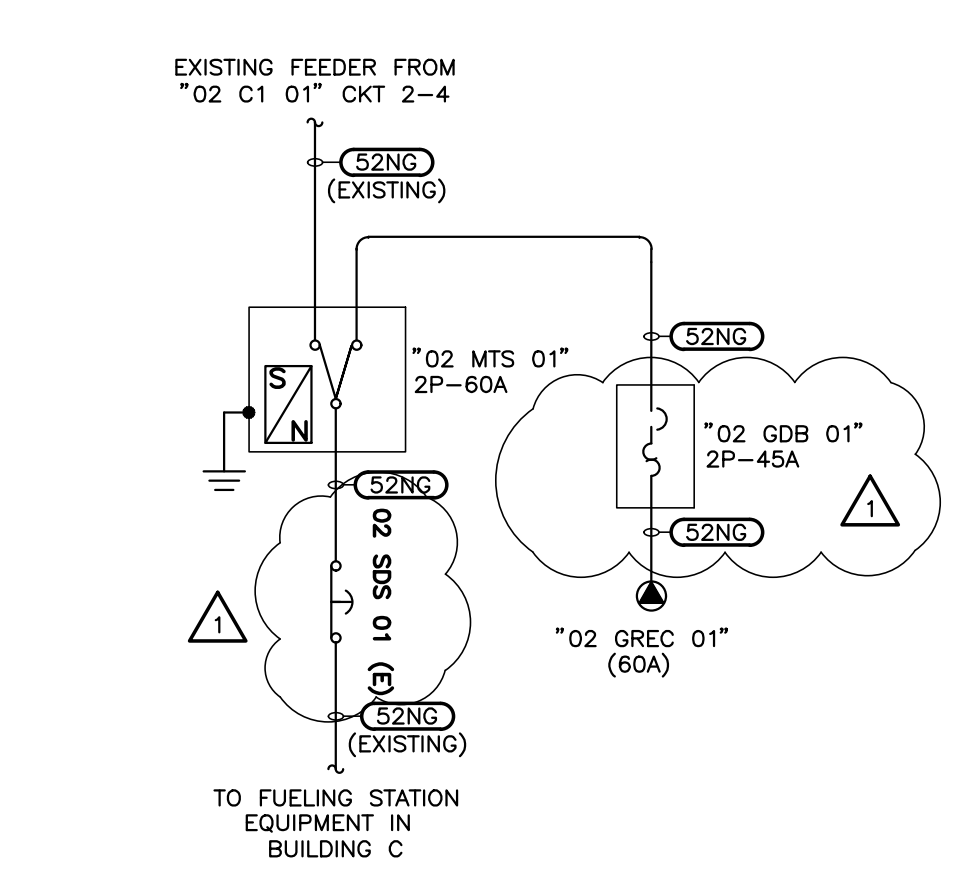
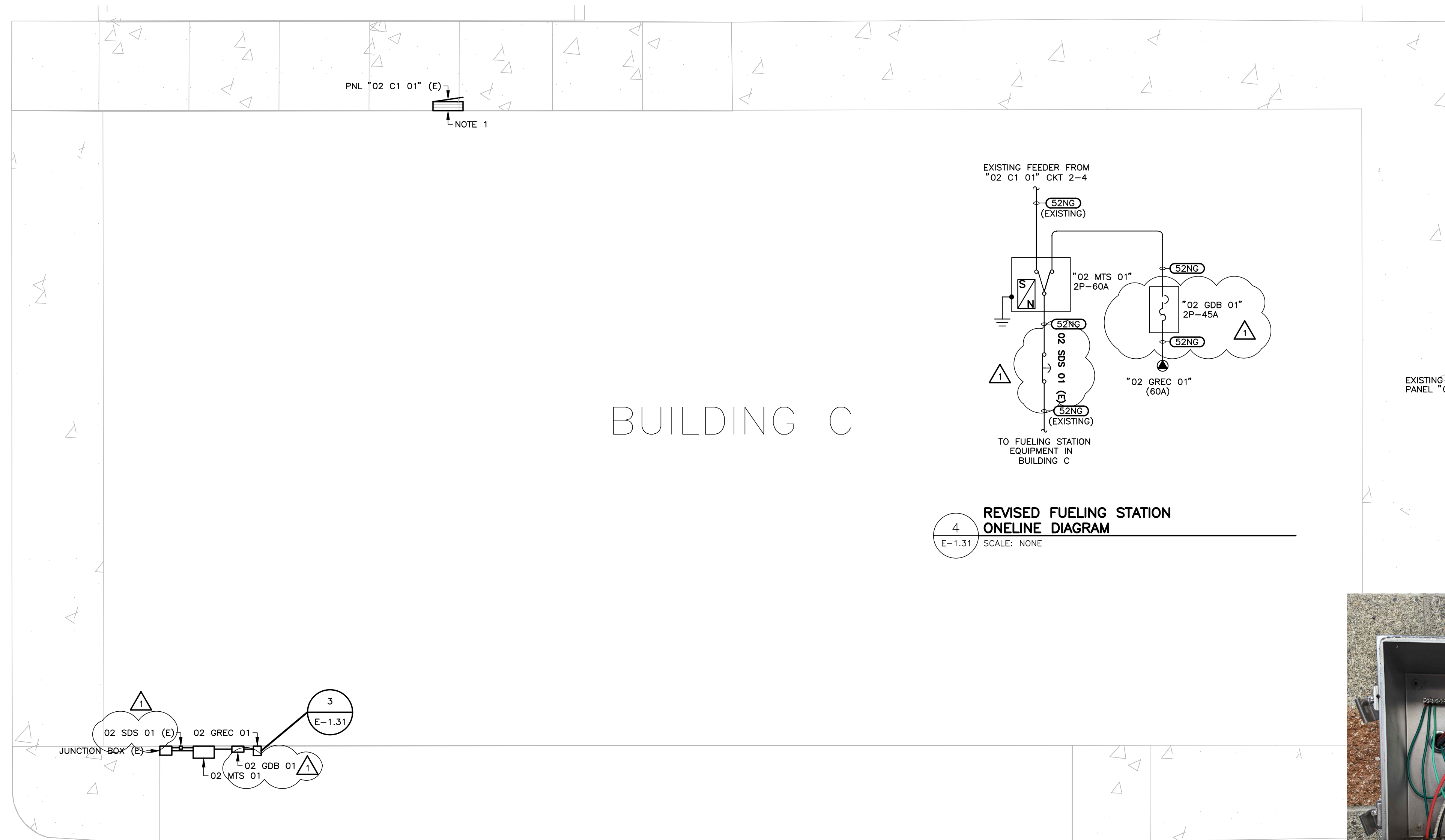
**BUILDING A - EAST LIGHTING PLAN**

GENERALS NOTES:

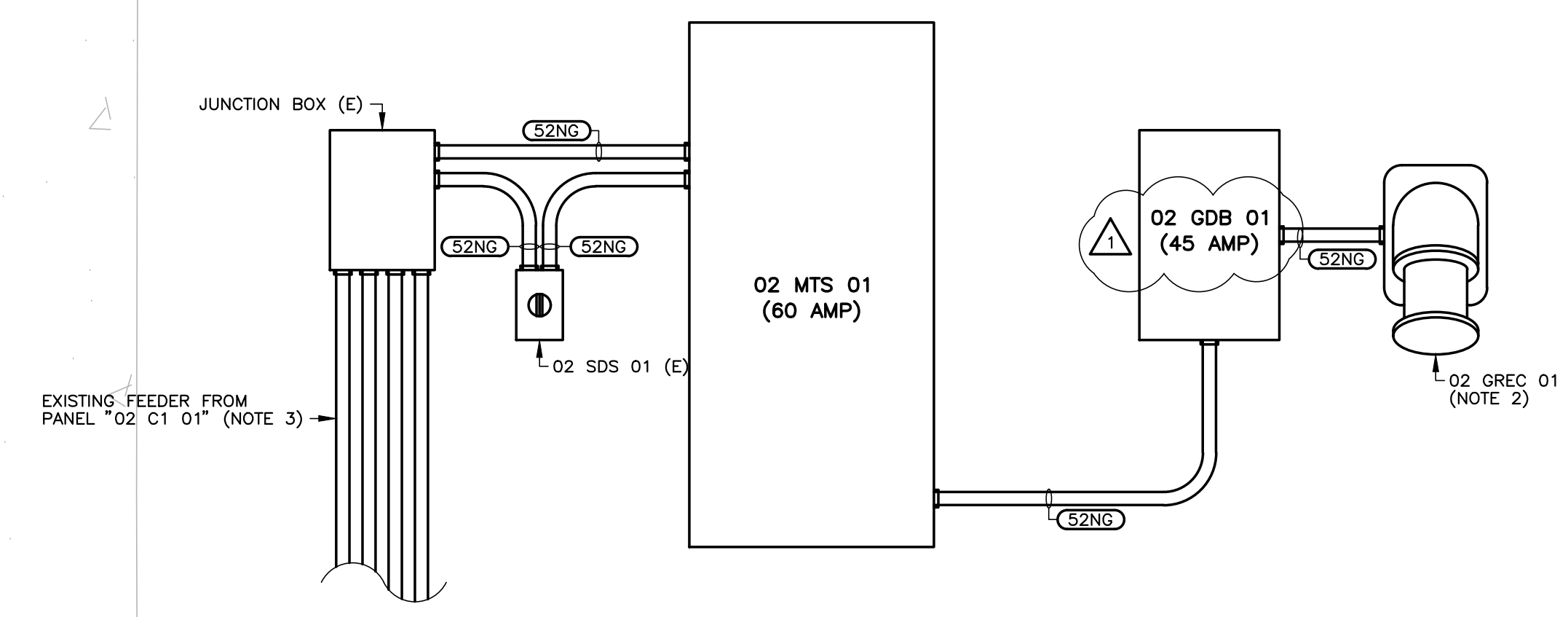
- A. ELECTRICAL ITEMS SHOWN IN BACKGROUND COLOR (GRAY) ARE EXISTING TO REMAIN. ITEMS SHOWN IN FOREGROUND (BOLD) ARE NEW OR EXISTING ITEMS TO BE MODIFIED AS PART OF THIS PROJECT.
- B. ALL OUTDOOR CONNECTIONS TO EQUIPMENT SHALL BE MADE USING MEYERS HUBS.
- C. ELECTRICAL EQUIPMENT MOUNTED TO EXTERIOR USING 304 STAINLESS STEEL UNI-STRUT. ALL EXTERIOR MOUNTING HARDWARE SHALL BE 316 STAINLESS STEEL.

NOTES:

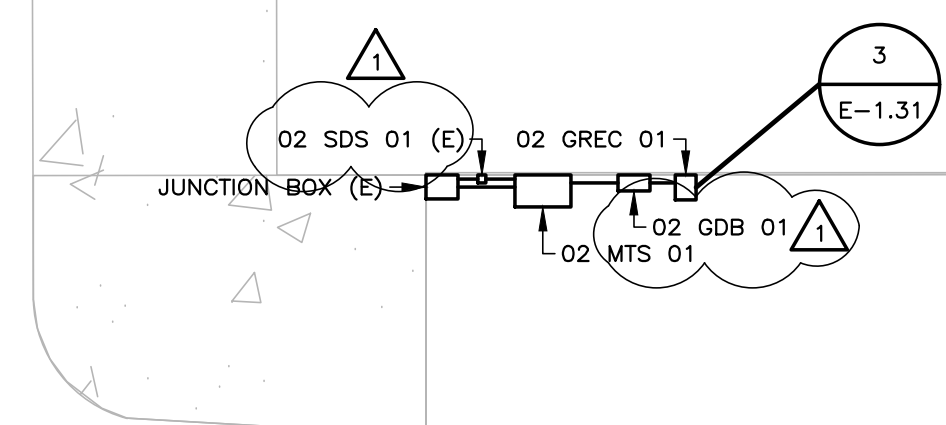
- 1. PRINTED SCHEDULE IN PANEL IS INACCURATE. FIELD INVESTIGATE EXISTING PANEL CIRCUITS AND UPDATE SCHEDULE IN PANEL.
- 2. THE GENERATOR RECEPTACLE SHALL BE CROUSE-HINDS CAT# AREA6313 S22 (60 AMP, 3W-3P, WITH BACK BOX AND ANGLE ADAPTER. FURNISH MATING PLUG, CROUSE-HINDS CAT# APJ6375 S22 TO OWNER.
- 3. FUELING STATION IS FED FROM PANEL "02 C1 01" CKT 2-4.



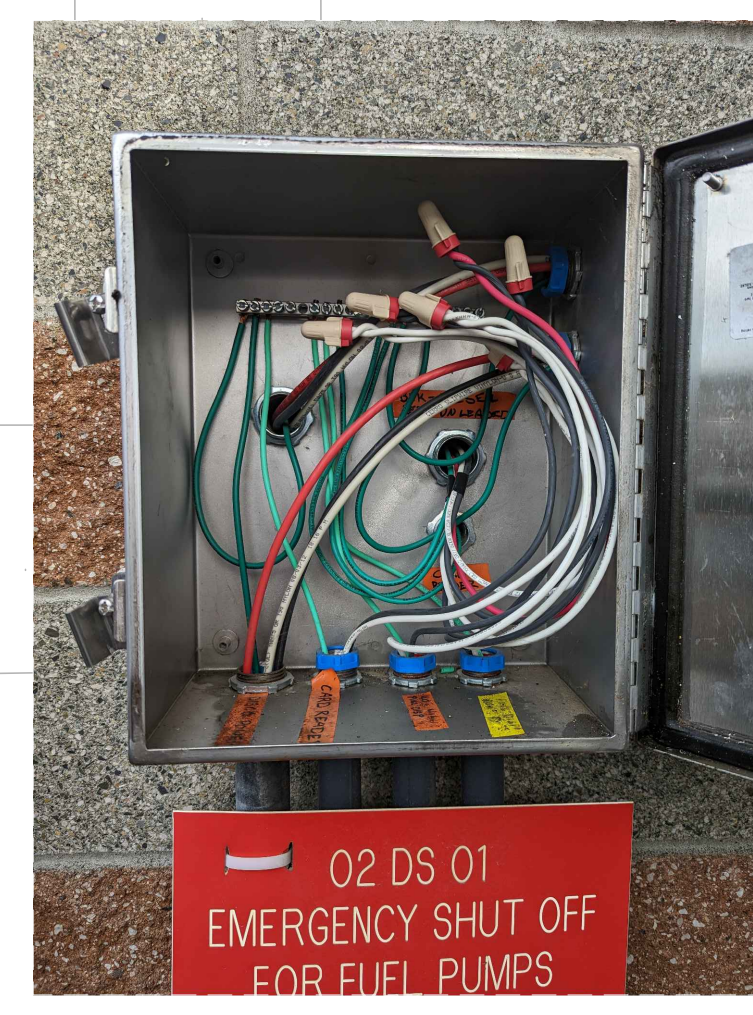
4 REVISED FUELING STATION ONELINE DIAGRAM  
E-1.31 SCALE: NONE



3 PORTABLE GENERATOR CONNECTION ELEVATION  
E-1.31 SCALE: NONE



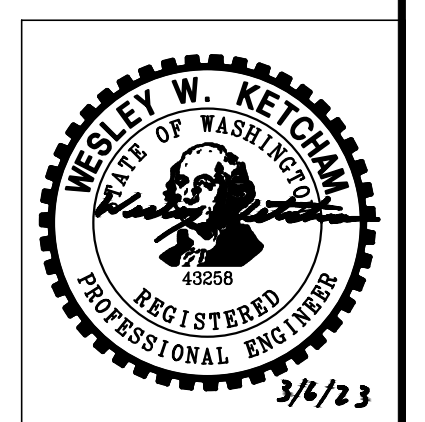
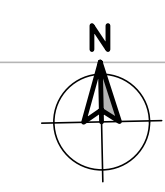
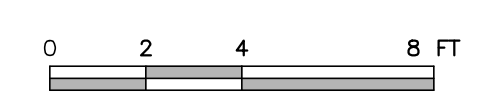
3 E-1.31



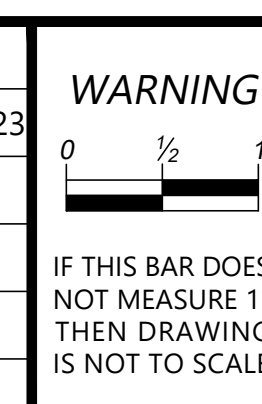
2 EXISTING FUELING STATION E-STOP  
E-1.31 SCALE: NONE



BUILDING C - FUELING STATION REVISE POWER PLAN  
SCALE: 1/4" = 1'-0"



NO	BY	APPD	REVISION	DATE
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APPROVAL WWK  
DATE MAR. 2023

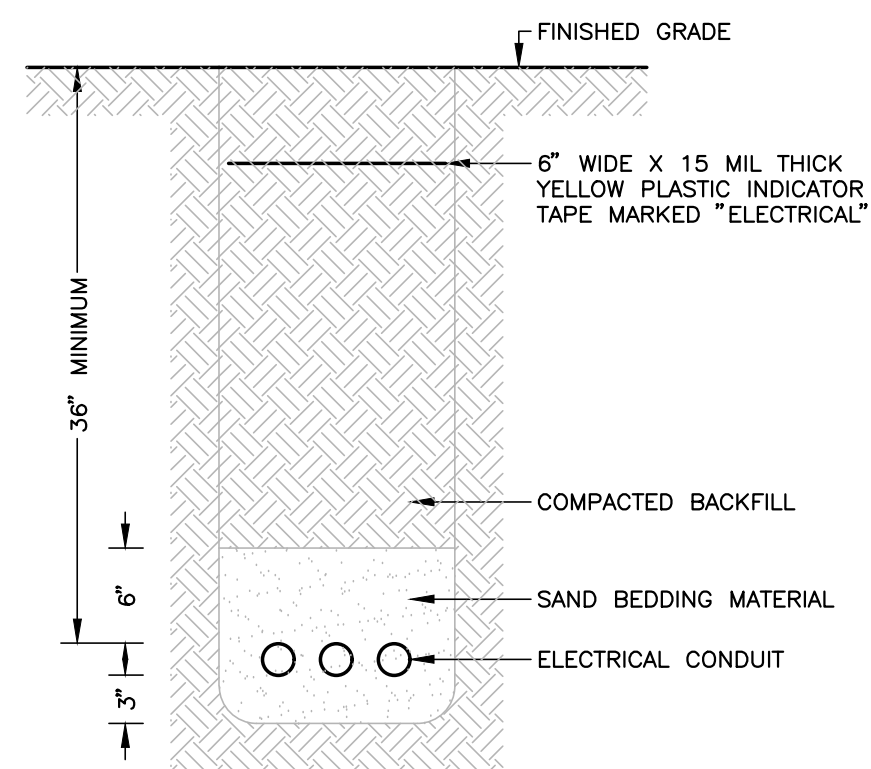
Gray & Osborne, Inc  
CONSULTING ENGINEERS

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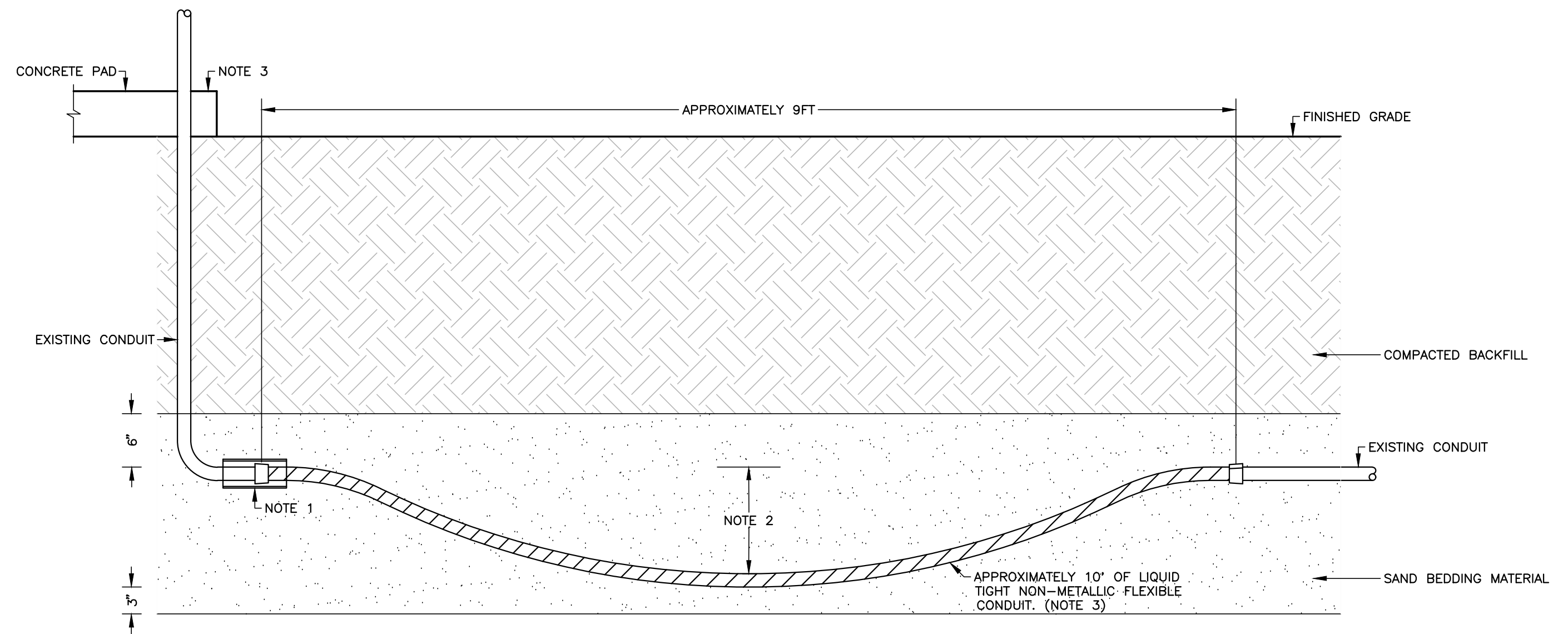
CONTRACT 2021-03  
BUILDING A IMPROVEMENTS

**BUILDING C - FUELING STATION  
GENERATOR RECEPTACLE**

SHEET  
E-1.31  
OF 27

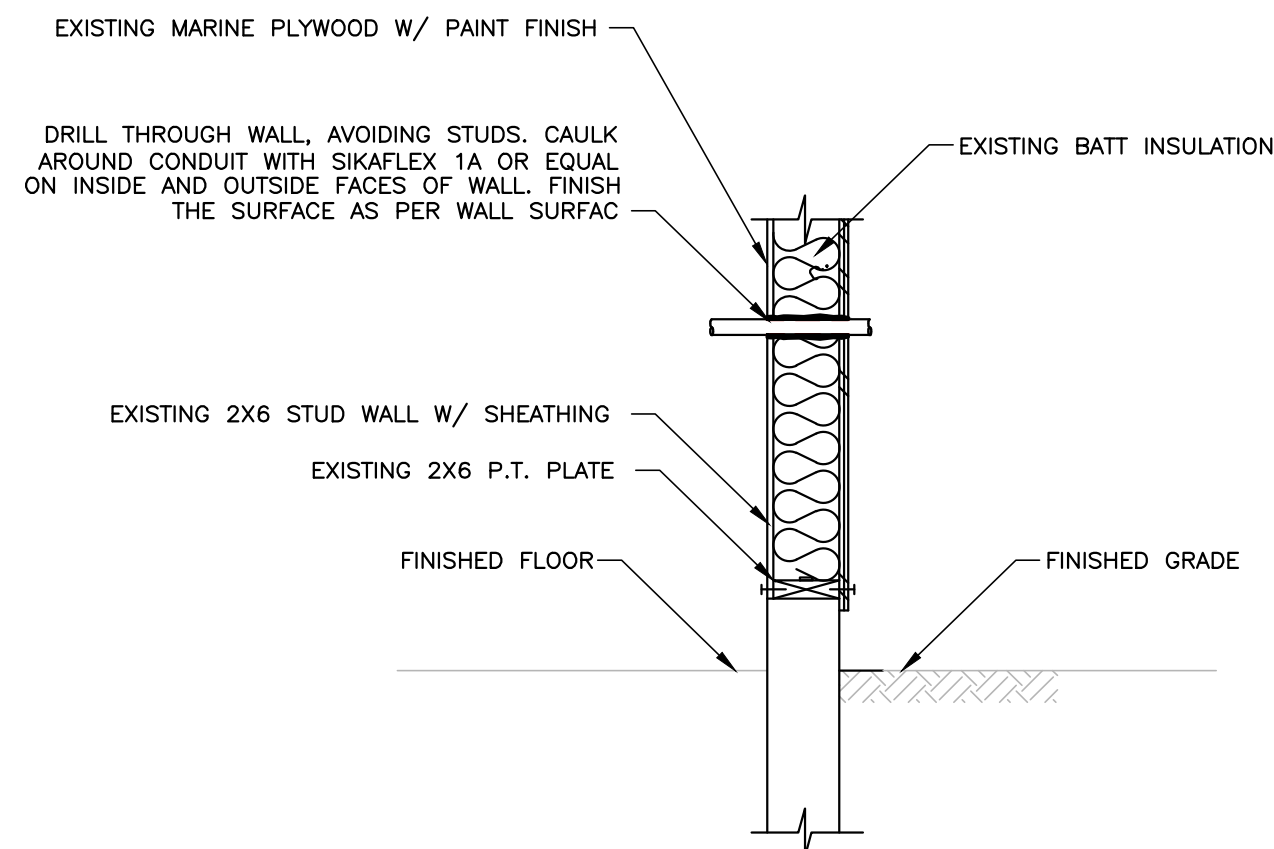


**1 TRENCH FOR PRIMARY POWER CIRCUITS**  
E5.0 SCALE: NONE

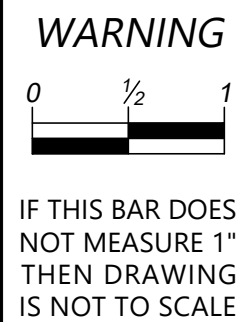


**2 CONDUIT EXPANSION LOOP CONNECTIONS**  
E5.0 SCALE: NONE

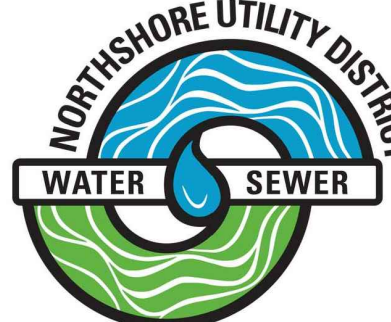
- NOTES:
1. SCHEDULE 80 PVC SLEEVE TO PROTECT CONNECTOR. WRAP BOTH ENDS OF SLEEVE WITH PROTECTIVE TAPE.
  2. APPROXIMATELY 10" - 12" OFFSET AT TIME OF INSTALLATION.
  3. ADJUST LENGTH AS NEEDED TO FIT BETWEEN STRUCTURES. NOT ALL EXISTING CONDUITS ARE ROUTED THROUGH CONCRETE PADS. CONDUITS MAY BE ROUTED UNDER CONCRETE PAD OR ALONG EXTERIOR WALLS. PROVIDE CONDUIT EXPANSION CONNECTIONS AT THE TRANSITION FROM A STRUCTURE OR UNDER A STRUCTURE TO UNDERGROUND. LFMC CONDUIT SIZE SHALL MATCH THE EXISTING CONDUIT SYSTEM THAT IT IS PART OF.



**3 INDOOR TO OUTDOOR TRANSITION THROUGH STUDS**  
E5.0 SCALE: NONE



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APPROVAL	WWK
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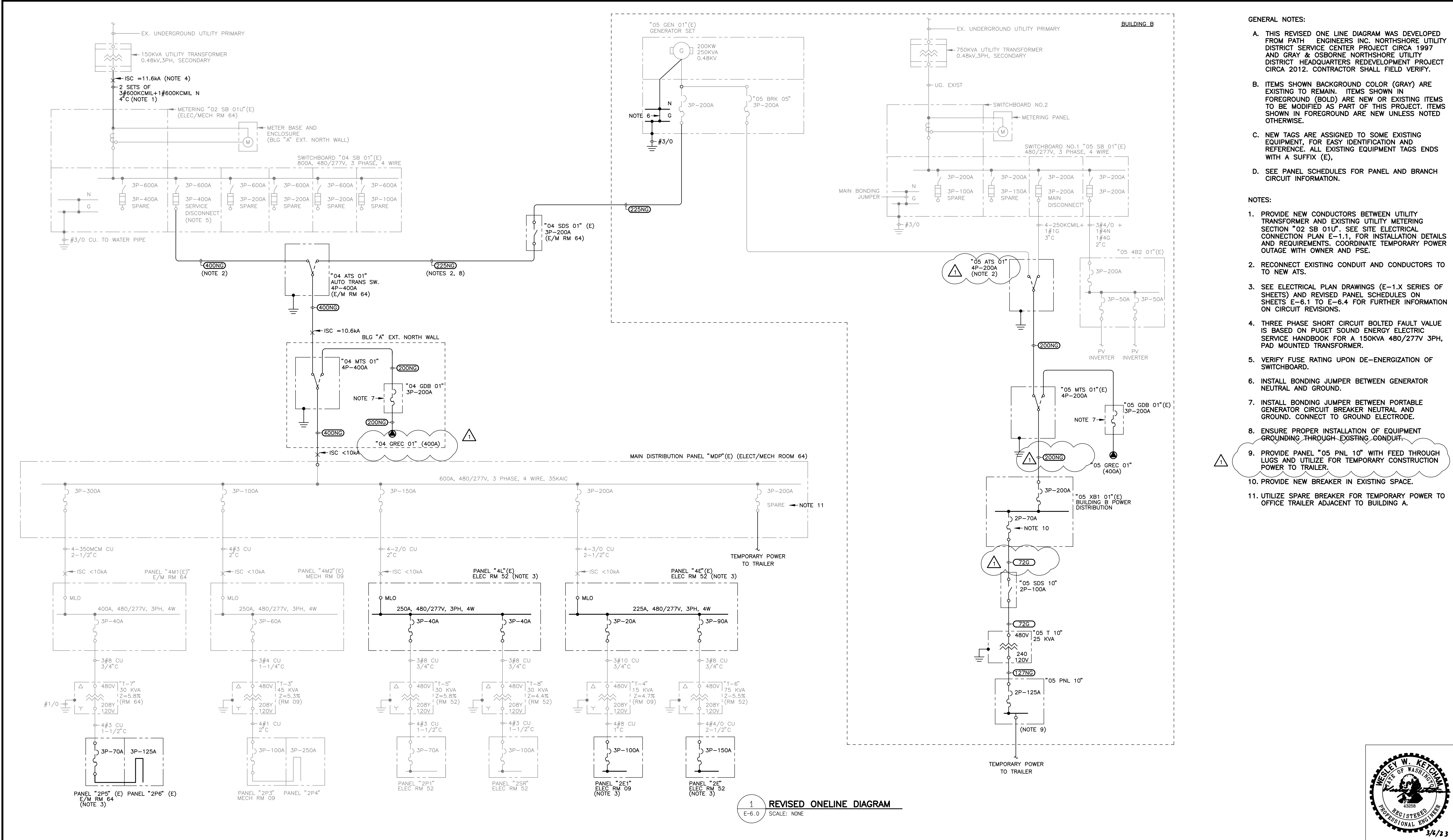
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BUILDING A IMPROVEMENTS  
**ELECTRICAL DETAILS**



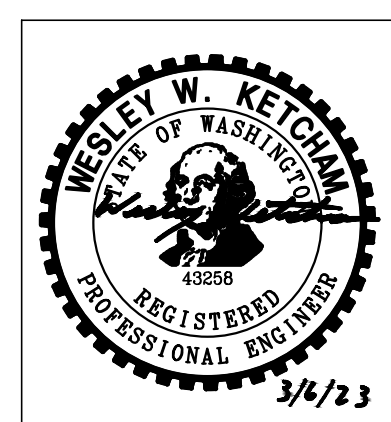
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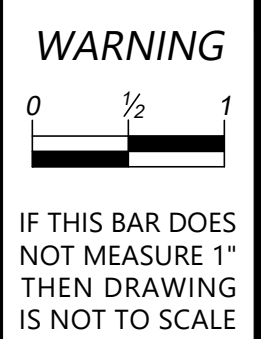


- GENERAL NOTES:**
- A. THIS REVISED ONE LINE DIAGRAM WAS DEVELOPED FROM PATH ENGINEERS INC. NORTSHORE UTILITY DISTRICT SERVICE CENTER PROJECT CIRCA 1997 AND GRAY & OSBORNE NORTSHORE UTILITY DISTRICT HEADQUARTERS REDEVELOPMENT PROJECT CIRCA 2012. CONTRACTOR SHALL FIELD VERIFY.
  - B. ITEMS SHOWN BACKGROUND COLOR (GRAY) ARE EXISTING TO REMAIN. ITEMS SHOWN IN FOREGROUND (BOLD) ARE NEW OR EXISTING ITEMS TO BE MODIFIED AS PART OF THIS PROJECT. ITEMS SHOWN IN FOREGROUND ARE NEW UNLESS NOTED OTHERWISE.
  - C. NEW TAGS ARE ASSIGNED TO SOME EXISTING EQUIPMENT, FOR EASY IDENTIFICATION AND REFERENCE. ALL EXISTING EQUIPMENT TAGS ENDS WITH A SUFFIX (E).
  - D. SEE PANEL SCHEDULES FOR PANEL AND BRANCH CIRCUIT INFORMATION.
- NOTES:**
1. PROVIDE NEW CONDUCTORS BETWEEN UTILITY TRANSFORMER AND EXISTING UTILITY METERING SECTION "02 SB 01U". SEE SITE ELECTRICAL CONNECTION PLAN E-1.1, FOR INSTALLATION DETAILS AND REQUIREMENTS. COORDINATE TEMPORARY POWER OUTAGE WITH OWNER AND PSE.
  2. RECONNECT EXISTING CONDUIT AND CONDUCTORS TO TO NEW ATS.
  3. SEE ELECTRICAL PLAN DRAWINGS (E-1.X SERIES OF SHEETS) AND REVISED PANEL SCHEDULES ON SHEETS E-6.1 TO E-6.4 FOR FURTHER INFORMATION ON CIRCUIT REVISIONS.
  4. THREE PHASE SHORT CIRCUIT BOLTED FAULT VALUE IS BASED ON PUGET SOUND ENERGY ELECTRIC SERVICE HANDBOOK FOR A 150KVA 480/277V 3PH, PAD MOUNTED TRANSFORMER.
  5. VERIFY FUSE RATING UPON DE-ENERGIZATION OF SWITCHBOARD.
  6. INSTALL BONDING JUMPER BETWEEN GENERATOR NEUTRAL AND GROUND.
  7. INSTALL BONDING JUMPER BETWEEN PORTABLE GENERATOR CIRCUIT BREAKER NEUTRAL AND GROUND. CONNECT TO GROUND ELECTRODE.
  8. ENSURE PROPER INSTALLATION OF EQUIPMENT GROUNDING THROUGH EXISTING CONDUIT.
  9. PROVIDE PANEL "05 PNL 10" WITH FEED THROUGH LUGS AND UTILIZE FOR TEMPORARY CONSTRUCTION POWER TO TRAILER.
  10. PROVIDE NEW BREAKER IN EXISTING SPACE.
  11. UTILIZE SPARE BREAKER FOR TEMPORARY POWER TO OFFICE TRAILER ADJACENT TO BUILDING A.

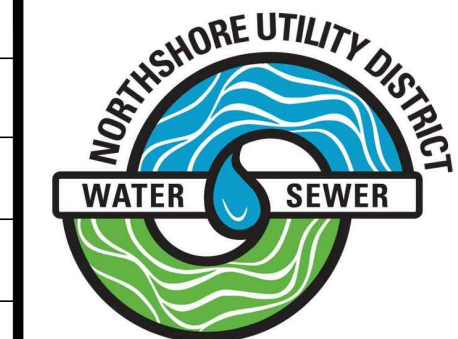
1 REVISED ONELINE DIAGRAM  
E-6.0 SCALE: NONE



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**REVISED ONELINE DIAGRAM**

SHEET  
 E-6.0  
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